



# City of San Marcos

630 East Hopkins  
San Marcos, TX 78666

## Regular Meeting Agenda Planning and Zoning Commission

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Tuesday, May 9, 2023

6:00 PM

City Council Chambers

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**This will be a hybrid (in-person/virtual meeting). To view the meeting please go to <http://www.sanmarcostx.gov/541/PZ-Video-Archives> or watch on Grande channel 16.**

- I. Call To Order
- II. Roll Call
- III. Chairperson's Opening Remarks
- IV. Citizen Comment Period

*Persons wishing to comment during the Citizen Comment Period must submit their written comments or requests to speak to [planninginfo@sanmarcostx.gov](mailto:planninginfo@sanmarcostx.gov) no later than 12:00 p.m. on the day of the meeting. Please indicate if you would like to speak in person or virtually. A link to join by phone, mobile device, laptop or desktop will be sent. Timely submitted written comments will be provided to the Commission prior to the meeting. Comments shall have a time limit of three minutes each.*

### CONSENT AGENDA

*THE FOLLOWING ITEMS NUMBERED 1-2 MAY BE ACTED UPON BY ONE MOTION. NO SEPARATE DISCUSSION OR ACTION ON ANY OF THE ITEMS IS NECESSARY UNLESS DESIRED BY A COMMISSIONER OR A CITIZEN, IN WHICH EVENT THE ITEM SHALL BE CONSIDERED IN ITS NORMAL SEQUENCE AFTER THE ITEMS NOT REQUIRING SEPARATE DISCUSSION HAVE BEEN ACTED UPON BY A SINGLE MOTION.*

- 1. PC-21-72 (Hymeadow Section 3 Phase 4 Final Plat) Consider a request by BGE, Inc on behalf of Arroyo Cap, LLC, for a Final Plat consisting of 24.091 acres, more or less, out of the William Hemphill Survey, Abstract No. 221, generally located on the western side of SH-21 approximately 150' northeast of the intersection between Peridot Pass and Haywood Manor in Hays County, Texas. (J. Cleary)
- 2. PC-23-14 (Waterstone Unit A Final Plat) Consider a request by Doucet and Associates, Inc, on behalf of DRP TX 3, LLC to approve a Final Plat, consisting of approximately 25.88 acres, more or less, out of the William Hemphill Survey, Abstract No. 221, generally located on CR 158 south of the intersection between CR 158 and Woodlands Drive, in Hays County, Texas (J. Cleary)

### PUBLIC HEARINGS

*Interested persons may join and participate in any of the Public Hearing items by:*

- 1) Sending written comments, to be provided to the Commission in advance of the meeting\*; or*
- 2) Requesting a link to speak during the public hearing portion of the virtual meeting, including which item you wish to speak on\*.*

3) Attending the meeting in person in the Council Chambers

*\*Written comments or requests to join in a public hearing must be sent to [planninginfo@sanmarcostx.gov](mailto:planninginfo@sanmarcostx.gov) no later than 12:00 p.m. on the day of the hearing. Comments shall have a time limit of three minutes each. To view the meeting please go to <http://sanmarcostx.gov/541/PZ-Video-Archives> to view the live stream, or watch on Grande Channel 16. For additional information on making comments during the Public*

*Hearings please visit <http://www.sanmarcostx.gov/3103/Citizen-Comments-Hybrid-Meetings>*

3. PC-23-03 (Hymeadow Replat) Hold a public hearing and consider a request by Chelsea Osbourn, on behalf of Clayton Properties Group, for approval of a Replat of the Hymeadow Subdivision, Section Two, Block H, Lot 6, creating Block H, Lots 6A and 6B through 6E, consisting of approximately 2.468 acres generally located at the northeast corner of the Alterra Way and Jade Street intersection. (W. Rugeley)

## NON-CONSENT AGENDA

4. Receive a presentation from staff regarding the Cotton Gateway Qualified Watershed Protection Plan Phase1, permit #2022-42485.
5. Receive a presentation and consider a recommendation on the "Vision SMTX Comprehensive Plan" and the Preferred Scenario Map.

## V. Question and Answer Session with Press and Public.

*This is an opportunity for the Press and Public to ask questions related to items on this agenda.*

## VI. Adjournment

### Notice of Assistance at the Public Meetings

*The City of San Marcos does not discriminate on the basis of disability in the admission or access to its services, programs, or activities. Individuals who require auxiliary aids and services for this meeting should contact the City of San Marcos ADA Coordinator at 512-393-8000 (voice) or call Texas Relay Service (TRS) by dialing 7-1-1. Requests can also be faxed to 512-393-8074 or sent by e-mail to [ADArequest@sanmarcostx.gov](mailto:ADArequest@sanmarcostx.gov)*

I certify that the attached notice and agenda of items to be considered by the Planning and Zoning Commission was removed by me from the City Hall bulletin board on the \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
Title:



## Legislation Text

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**File #:** PC-21-72, **Version:** 1

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**AGENDA CAPTION:**

PC-21-72 (Hymeadow Section 3 Phase 4 Final Plat) Consider a request by BGE, Inc on behalf of Arroyo Cap, LLC, for a Final Plat consisting of 24.091 acres, more or less, out of the William Hemphill Survey, Abstract No. 221, generally located on the western side of SH-21 approximately 150' northeast of the intersection between Peridot Pass and Haywood Manor in Hays County, Texas. (J. Cleary)

**Meeting date:** May 9, 2023

**Department:** Planning and Development Services

**Amount & Source of Funding**

**Funds Required:** N/A

**Account Number:** N/A

**Funds Available:** N/A

**Account Name:** N/A

**Fiscal Note:**

**Prior Council Action:** N/A

**City Council Strategic Initiative:** [Please select from the dropdown menu below]

N/A

N/A

N/A

**Comprehensive Plan Element (s):** [Please select the Plan element(s) and Goal # from dropdown menu below]

- ☐ Economic Development - Choose an item.
- ☐ Environment & Resource Protection - Choose an item.
- ☐ Land Use - Choose an item.
- ☐ Neighborhoods & Housing - Choose an item.
- ☐ Parks, Public Spaces & Facilities - Choose an item.
- ☐ Transportation - Choose an item.
- ☐ Core Services
- ☒ Not Applicable

**Master Plan:** *[Please select the corresponding Master Plan from the dropdown menu below (if applicable)]*

Vision San Marcos - A River Runs Through Us

**Background Information:**

This site is part of the Sunset Oaks Preliminary Plat (PC-17-38\_02) which was approved by P&Z on May 8, 2018. The proposed phase contains 169 residential lots. Fee in lieu has been provided for parkland. Wastewater will be provided by Aqua Texas, water will be provided by Maxwell Water, and electricity will be provided by Pedernales Electric Cooperative. This site is in the Extra-territorial Jurisdiction (ETJ) in Hays County- a written approval letter from the County has been received per the 1445 Interlocal Agreement.

**Council Committee, Board/Commission Action:**

Click or tap here to enter text.

**Alternatives:**

Click or tap here to enter text.

**Recommendation:**

Staff recommends approval of PC-21-72 as presented.



# Plat - Final

## PC-21-72

# Hymeadow Section 3

## Phase 4



### Summary

<b>Request:</b>	Consideration of a Final Plat with 169 residential lots.		
<b>Applicant:</b>	Chelsea Osbourn, BGE, Inc 7330 San Pedro Ave, Suite 202 San Antonio, TX, 78216	<b>Property Owners:</b>	Arroyo Cap II-1 LLC 18575 Jamboree Rd, Ste 300 Irvine, CA 92612-2550
<b>Parkland Required:</b>	N/A – Fee in Lieu	<b>Utility Capacity:</b>	By Developer
<b>Accessed from:</b>	Haywood Manor and Delta Crest	<b>New Street Names:</b>	Thistle Lane

### Notification

<b>Published:</b>	N/A		
<b>Response:</b>	N/A		

### Property Description

<b>Location:</b>	Generally located on the western side of SH-21 approximately 150' northeast of the intersection between Peridot Pass and Haywood Manor in Hays County, Texas.		
<b>Acreage:</b>	24.091 acres	<b>PDD/DA/Other:</b>	N/A
<b>Existing Zoning:</b>	None - ETJ	<b>Preferred Scenario:</b>	Low Intensity Zone
<b>Proposed Use:</b>	Residential		
<b>CONA Neighborhood:</b>	N/A	<b>Sector:</b>	N/A

### Surrounding Area

	<b>Zoning</b>	<b>Existing Land Use</b>	<b>Preferred Scenario</b>
<b>North of Property:</b>	ETJ	Industrial/Vacant	Low Intensity
<b>South of Property:</b>	ETJ	Residential	Low Intensity
<b>East of Property:</b>	ETJ	Residential	Low Intensity
<b>West of Property:</b>	ETJ	Industrial/ Vacant	Low Intensity

### History

This site is part of the Sunset Oaks Preliminary Plat (PC-17-38\_02) which was approved by P&Z on May 8, 2018. The proposed phase contains 169 residential lots. Fee in lieu has been provided for parkland. Wastewater will be provided by Aqua Texas, water will be provided by Maxwell Water, and electricity will be provided by Pedernales Electric Cooperative. This site is in the Extra-territorial Jurisdiction (ETJ) in Hays County- a written approval letter from the County has been received per the 1445 Interlocal Agreement.

### Staff Recommendation

<b>X</b>	<b>Approval as Submitted</b>	Approval with Conditions / Alternate	Denial
<b>Staff:</b> Julia Cleary		<b>Title :</b> Planner	<b>Date:</b> May 3, 2023

Plat - Final

PC-21-72

Hymeadow Section 3

Phase 4



Evaluation			Criteria for Approval (Sec.3.2.3.4)
Consistent	Inconsistent	Neutral	
		<u>N/A</u>	If no preliminary subdivision or development plat has been approved the criteria in Section 3.2.2.4 shall apply; <b><i>A Preliminary Plat has been approved for this site (PC-17-38_02)</i></b>
<u>X</u>			The final subdivision plat or final development plat, as applicable, conforms to the approved preliminary subdivision plat or preliminary development plat, except for minor changes authorized under Section 3.2.3.5;
		<u>N/A</u>	Where public improvements have been installed, the improvements conform to the approved public improvement construction plans and have been approved for acceptance by the Responsible Official; <b><i>Roadway improvements have been deferred and surety has been posted with Hays County in accordance with the 1445 Interlocal Agreement.</i></b>
<u>X</u>			Where the Planning and Zoning Commission has authorized public improvements to be deferred, the subdivision improvement agreement and surety have been executed and submitted by the property owner in accordance with Section 3.4.2.1; <b><i>Surety will be required prior to plat recordation. Surety for roadway improvements shall be posted with Hays County.</i></b>
<u>X</u>			The final layout of the subdivision or development meets all standards for adequacy of public facilities in accordance with Section 3.5.1.1; and
<u>X</u>			The plat meets any County standards to be applied under an interlocal agreement between the City and a County under Tex. Loc. Gov't Code Ch. 242, where the proposed development is located in whole or in part in the extraterritorial jurisdiction of the City and in the county. <b><i>Approval letter has been received from Hays County Development Services confirming it meets their requirements.</i></b>





-  Subject Property
-  Parcel



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 4/17/2023





# FINAL SUBDIVISION / DEVELOPMENT PLAT APPLICATION

Updated: September, 2020



## CONTACT INFORMATION

<b>Applicant's Name</b>	Chelsea Osbourn, PE	<b>Property Owner</b>	Arroyo CAP II-1 LLC / K MARCOS LLC
<b>Company</b>	BGE, Inc.	<b>Company</b>	18575 Jamboree Rd. Suite 300 Irvine, CA 92612-2550 /
<b>Mailing Address</b>	7330 San Pedro Ave, Suite 202, San Antonio, TX 78216	<b>Mailing Address</b>	3736 BEE CAVE RD STE 1-122 WEST LAKE, TX 78746-5393
<b>Phone #</b>	210-581-3621	<b>Phone #</b>	(407) 920-3603
<b>Email</b>	cosbourn@bgeinc.com	<b>Email</b>	cody.bass@ashtonwoods.com

## PROPERTY INFORMATION

**Proposed Subdivision Name:** Hy Meadow Sec 3 Phase 4

**Subject Property Address or General Location:** HWY 21, SAN MARCOS, TX 78666

**Acres:** 24.08 **Tax ID #: R** 175475 / 14904

**Located in:** ☐ City Limits ☐ Extraterritorial Jurisdiction (County)

## DESCRIPTION OF REQUEST

**Type of Plat:** ☒ Final Subdivision Plat ☐ Final Development Plat

**Current Number of Lots:** 1 **Current Land Use:** Agriculture

**Proposed Number of Lots:** 169 **Proposed Land Use:** Residential-Single Family

## AUTHORIZATION

*I certify that the information on this application is accurate. I understand the fees and the process for this application. I understand my responsibility, as the applicant, to be present at meetings regarding this request.*

Filing Fee \$1,321 plus \$100 per acre

Technology Fee \$13

**MAXIMUM COST \$2,513**

Submittal of this digital Application shall constitute as acknowledgement and authorization to process this request.

APPLY ONLINE – [WWW.MYGOVERNMENTONLINE.ORG/](http://WWW.MYGOVERNMENTONLINE.ORG/)

## SUBDIVISION IMPROVEMENT AGREEMENT ACKNOWLEDGEMENT

I understand, whenever public improvements to serve the development are deferred until after Final Subdivision or Development Plat approval, the property owner shall enter into a Subdivision Improvement Agreement by which the owner covenants to complete all required public improvements no later than two (2) years following the date upon which the Final Plat is approved.

- ☐ All required public improvements will be completed prior to approval of the Final Subdivision or Development Plat
- ☒ I wish to defer installation of public improvements until after approval of the Final Subdivision or Development Plat and have attached a Subdivision Improvement Agreement to be considered along with this Plat application
- ☐ The attached Minor / Amending / Preliminary Plat Application does not require a Subdivision Improvement Agreement

Signature of Applicant: Chelsea Olson Date: 9/14/2021

## NOTICE OF COMPLETENESS DETERMINATION & STATUTORY REVIEW TIMEFRAMES

I understand that the City of San Marcos requires online submittal of all applications through the Customer Portal at [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and that the Responsible Official will review this application for completeness within 10 business days of online submittal. I understand that this application is not considered "filed" until all required documentation is received and reviewed for completeness. *Upon determination of completeness the City will send written correspondence stating that the application has been filed* and will provide a date, in accordance with the Texas Local Government Code, when the Planning and Zoning Commission will meet to hear the request.

☒ By checking this box I am requesting cursory review of this application prior to determination that the application is complete and filed. Cursory review comments shall not constitute a determination of completeness.

I also understand that as the applicant I may request, in writing, an extension to the statutory review timeframes.

Signature of Applicant: Chelsea Olson Date: 09/14/2021

## RECORDATION REQUIREMENTS\*\*\*

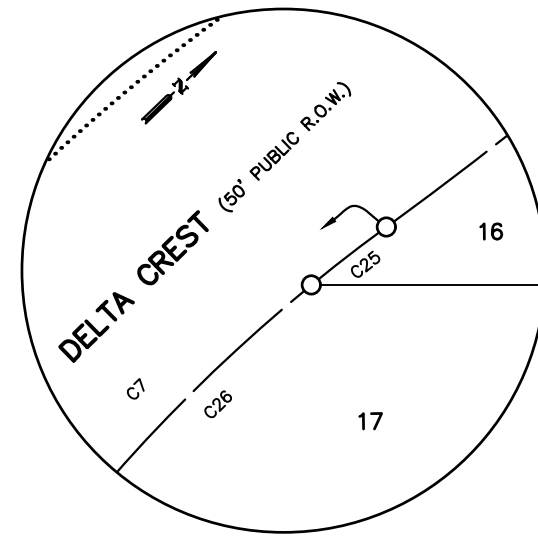
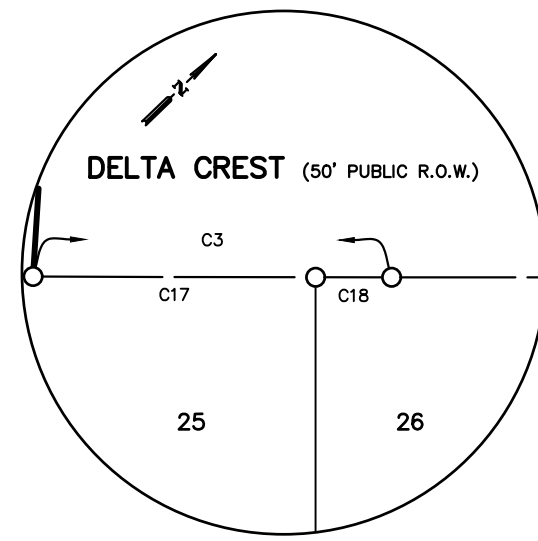
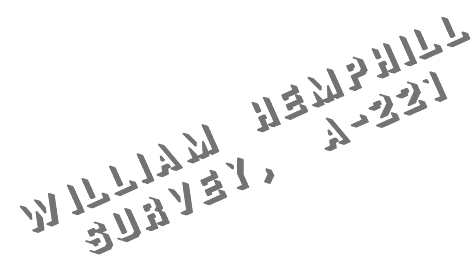
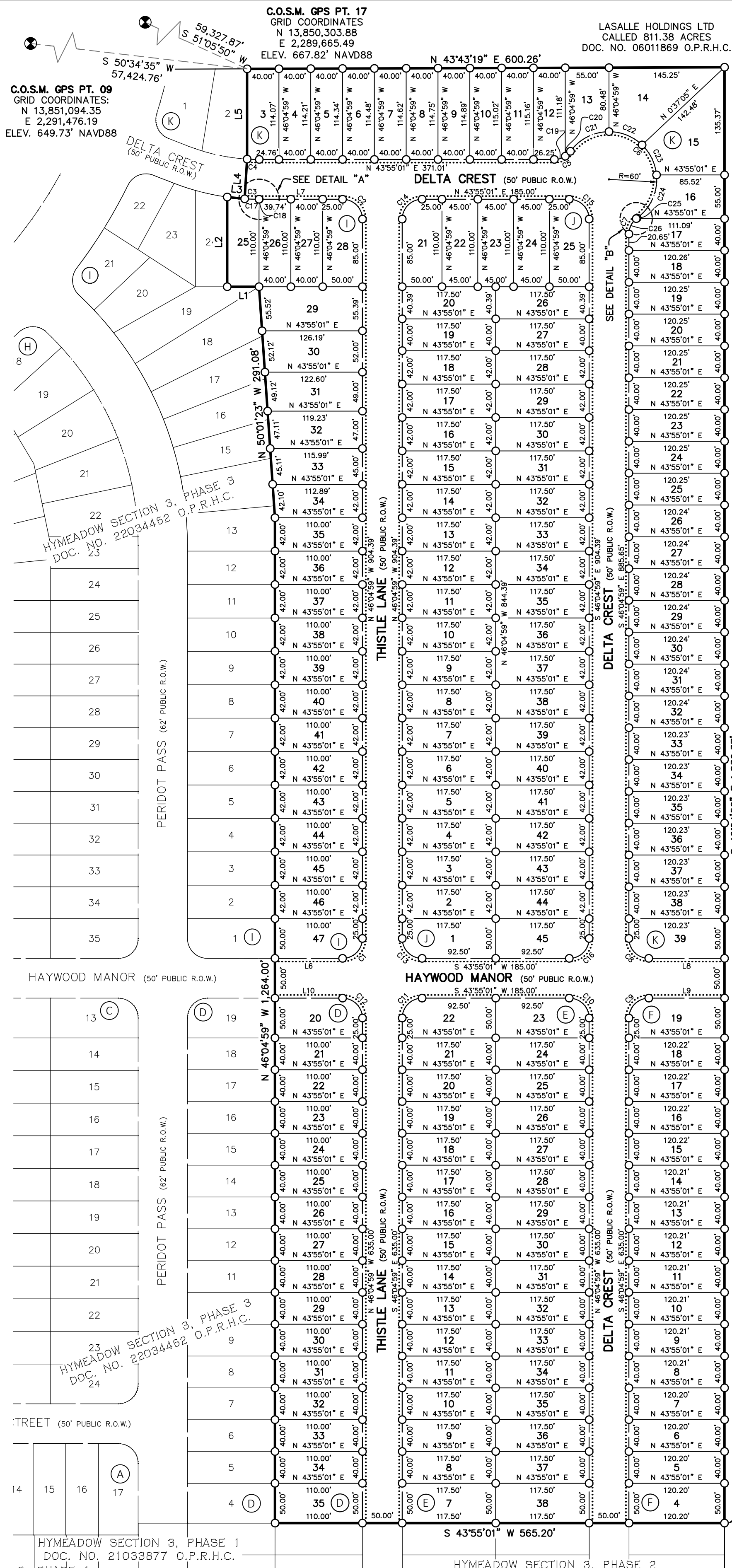
### The following are required for recordation, following approval of a Plat application:

- ☐ Two (2) mylars of the subdivision plat (*Comal Co. requires White 20# Bond Paper*)
- ☐ Recording Fee: \$ 2513
- ☐ Tax Certificate, printed within 30 days of recordation date (paid prior to January 31<sup>st</sup> of current year)

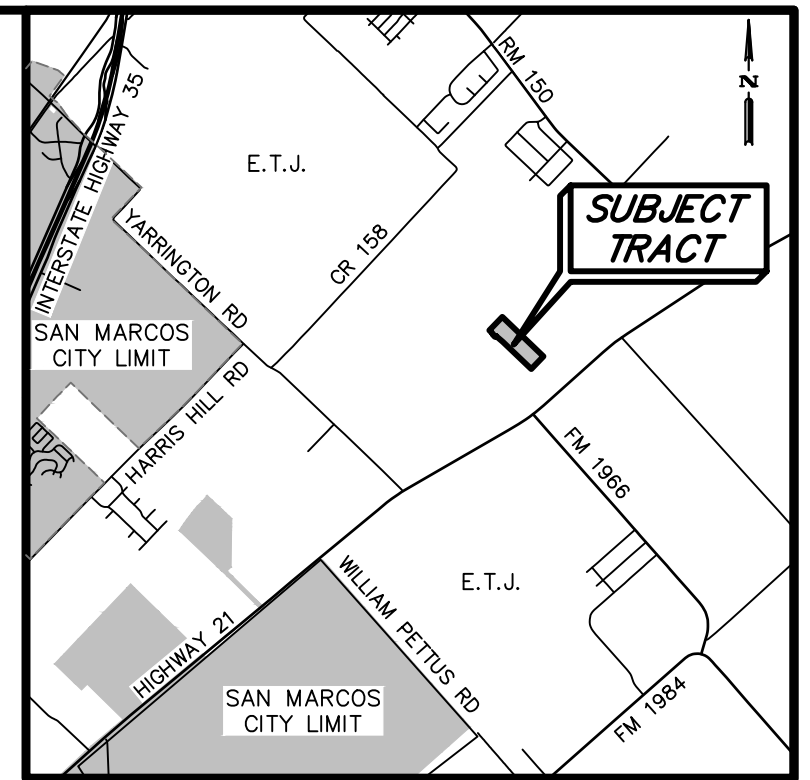
### Other possible recording requirements:

- ☐ If public improvements were deferred, Subdivision Improvement Agreement
- ☐ Subdivision Improvement Agreement recording fee: \$ \_\_\_\_\_
- ☐ Other legal documents referenced on the plat (i.e. easement dedication by separate instrument, HOA documents)
- ☐ Other recording fee: \$ \_\_\_\_\_

\*\*\*Recordation fees, mylars, and other requirements are not due at the time of submittal. Fees will depend on the number of pages needed for recordation and the County in which they are recorded. The total will be calculated upon approval.



LASALLE HOLDINGS LTD  
CALLED 811.38 ACRES  
DOC. NO. 06011869 O.P.R.H.C.




VICINITY MAP  
NOT TO SCALE

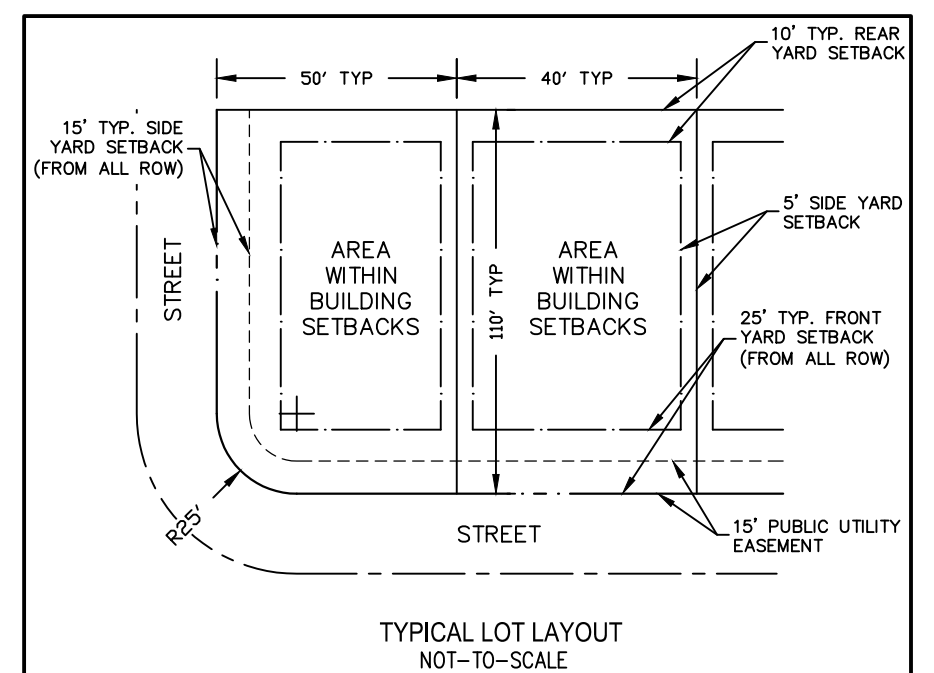


GRAPHIC SCALE: 1" = 100'

BEARING ORIENTATION IS BASED ON THE  
TEXAS STATE PLANE COORDINATE SYSTEM,  
SOUTH CENTRAL ZONE, NAD-83.

LEGEND

N.T.S. NOT TO SCALE  
O.P.R.H.C. OFFICIAL PUBLIC RECORDS OF HAYS COUNTY  
P.O.B. POINT OF BEGINNING  
P.O.C. POINT OF COMMENCING  
P.U.E. PUBLIC UTILITY EASEMENT  
R.O.W. RIGHT-OF WAY  
○ SET 1/2" IRON ROD W/CAP "BGE INC"  
● FOUND 1/2" IRON ROD  
----- PROPOSED SIDEWALK  
 BLOCK IDENTIFICATION



LAND USE SCHEDULE		
DESCRIPTION	NO.	ACREAGE
RESIDENTIAL	169	19.034 AC.
RIGHT-OF-WAY	—	5.057 AC.
TOTAL	169	24.091 AC.

STREET NAMES			
STREET	R.O.W. WIDTH	CENTERLINE LENGTH	CLASSIFICATION
DELTA CREST	50 FT.	2,146 FT.	URBANIZED LOCAL ROADWAY
HAYWOOD MANOR	50 FT.	565 FT.	URBANIZED LOCAL ROADWAY
THISTLE LANE	50 FT.	1,689 FT.	URBANIZED LOCAL ROADWAY
TOTAL LINEAR FEET		4,400 FT.	



**BGE, Inc.**  
7330 San Pedro Ave., Suite 202  
San Antonio, TX 78216  
Tel: 210-581-3600 • [www.bgeinc.com](http://www.bgeinc.com)  
BPELS Registration No. F-1046  
BPELS Licensed Surveying Firm No. 10194490

LINE TABLE		
NUMBER	BEARING	DISTANCE
L1	S 43°55'01" W	40.00'
L2	N 46°04'59" W	112.76'
L3	N 49°37'20" E	22.01'
L4	N 42°30'56" W	50.00'
L5	N 46°04'59" W	113.46'
L6	N 43°55'01" E	85.00'
L7	S 43°55'01" W	104.74'
L8	N 43°55'01" E	95.22'
L9	S 43°55'01" W	95.22'
L10	S 43°55'01" W	85.00'

CURVE TABLE					
NUMBER	ARC LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	39.27'	25.00'	90°00'00"	N 01°04'59" W	35.36'
C2	39.27'	25.00'	90°00'00"	S 88°55'01" W	35.36'
C3	18.37'	295.00'	3°34'03"	N 45°42'03" E	18.37'
C4	15.25'	245.00'	3°34'03"	N 45°42'03" E	15.25'
C5	23.55'	25.00'	53°58'05"	N 16°55'58" E	22.69'
C6	207.28'	60.00'	197°56'10"	S 88°55'01" W	118.53'
C7	23.55'	25.00'	53°58'05"	S 19°05'56" E	22.69'
C8	39.27'	25.00'	90°00'00"	N 88°55'01" E	35.36'
C9	39.27'	25.00'	90°00'00"	S 01°04'59" E	35.36'
C10	39.27'	25.00'	90°00'00"	S 88°55'01" W	35.36'
C11	39.27'	25.00'	90°00'00"	S 01°04'59" E	35.36'
C12	39.27'	25.00'	90°00'00"	S 88°55'01" W	35.36'
C13	39.27'	25.00'	90°00'00"	N 88°55'01" E	35.36'

CURVE TABLE					
NUMBER	ARC LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C14	39.27'	25.00'	90°00'00"	S 01°04'59" E	35.36'
C15	39.27'	25.00'	90°00'00"	S 88°55'01" W	35.36'
C16	39.27'	25.00'	90°00'00"	N 01°04'59" W	35.36'
C17	18.11'	295.00'	3°31'04"	N 45°43'32" E	18.11'
C18	0.26'	295.00'	0°02'59"	N 43°56'30" E	0.26'
C19	14.56'	25.00'	33°21'55"	N 27°14'04" E	14.35'
C20	8.99'	25.00'	20°36'10"	N 00°15'01" E	8.94'
C21	56.53'	60.00'	53°58'42"	S 16°56'17" W	54.46'
C22	45.91'	60.00'	43°50'41"	S 65°50'59" W	44.80'
C23	42.70'	60.00'	40°46'41"	N 71°50'20" W	41.81'
C24	62.14'	60.00'	59°20'06"	N 21°46'57" W	59.40'
C25	1.42'	25.00'	3°15'07"	S 6°15'33" W	1.42'
C26	22.13'	25.00'	50°42'58"	S 20°43'30" E	21.41'

LOT AREA TABLE			
LOT	BLOCK	ACRES	SQUARE FEET
20	D	0.123	5,366
21	D	0.101	4,400
22	D	0.101	4,400
23	D	0.101	4,400
24	D	0.101	4,400
25	D	0.101	4,400
26	D	0.101	4,400
27	D	0.101	4,400
28	D	0.101	4,400
29	D	0.101	4,400
30	D	0.101	4,400
31	D	0.101	4,400
32	D	0.101	4,400
33	D	0.101	4,400
34	D	0.101	4,400
35	D	0.126	5,500

LOT AREA TABLE			
LOT	BLOCK	ACRES	SQUARE FEET
7	E	0.135	5,875
8	E	0.108	4,700
9	E	0.108	4,700
10	E	0.108	4,700
11	E	0.108	4,700
12	E	0.108	4,700
13	E	0.108	4,700
14	E	0.108	4,700
15	E	0.108	4,700
16	E	0.108	4,700
17	E	0.108	4,700
18	E	0.108	4,700
19	E	0.108	4,700
20	E	0.108	4,700
21	E	0.108	4,700
22	E	0.132	5,741

LOT AREA TABLE			
LOT	BLOCK	ACRES	SQUARE FEET
23	E	0.132	5,741
24	E	0.108	4,700
25	E	0.108	4,700
26	E	0.108	4,700
27	E	0.108	4,700
28	E	0.108	4,700
29	E	0.108	4,700
30	E	0.108	4,700
31	E	0.108	4,700
32	E	0.108	4,700
33	E	0.108	4,700
34	E	0.108	4,700
35	E	0.108	4,700
36	E	0.108	4,700
37	E	0.108	4,700
38	E	0.135	5,875

LOT AREA TABLE			
LOT	BLOCK	ACRES	SQUARE FEET
4	F	0.138	6,010
5	F	0.110	4,808
6	F	0.110	4,808
7	F	0.110	4,808
8	F	0.110	4,808
9	F	0.110	4,808
10	F	0.110	4,808
11	F	0.110	4,808
12	F	0.110	4,808
13	F	0.110	4,808
14	F	0.110	4,809
15	F	0.110	4,809
16	F	0.110	4,809
17	F	0.110	4,809
18	F	0.110	4,809
19	F	0.135	5,877

LOT AREA TABLE			
LOT	BLOCK	ACRES	SQUARE FEET
25	I	0.102	4,440
26	I	0.101	4,400
27	I	0.101	4,400
28	I	0.123	5,366
29	I	0.163	7,095
30	I	0.148	6,469
31	I	0.136	5,925
32	I	0.127	5,528
33	I	0.118	5,150
34	I	0.107	4,681
35	I	0.106	4,620
36	I	0.106	4,620

LOT AREA TABLE			
LOT	BLOCK	ACRES	SQUARE FEET
37	I	0.106	4,620
38	I	0.106	4,620
39	I	0.106	4,620
40	I	0.106	4,620
41	I	0.106	4,620
42	I	0.106	4,620
43	I	0.106	4,620
44	I	0.106	4,620
45	I	0.106	4,620
46	I	0.106	4,620
47	I	0.123	5,366

LOT AREA TABLE			
LOT	BLOCK	ACRES	SQUARE FEET
1	J	0.132	5,741
2	J	0.113	4,935
3	J	0.113	4,935
4	J	0.113	4,935
5	J	0.113	4,935
6	J	0.113	4,935
7	J	0.113	4,935
8	J	0.113	4,935
9	J	0.113	4,935
10	J	0.113	4,935
11	J	0.113	4,935
12	J	0.113	4,935
13	J	0.113	4,935
14	J	0.113	4,935
15	J	0.113	4,935

LOT AREA TABLE			
LOT	BLOCK	ACRES	SQUARE FEET
16	J	0.113	4,935
17	J	0.113	4,935
18	J	0.113	4,935
19	J	0.108	4,700
20	J	0.109	4,746
21	J	0.123	5,366
22	J	0.114	4,950
23	J	0.114	4,950
24	J	0.114	4,950
25	J	0.123	5,366
26	J	0.109	4,746
27	J	0.108	4,700
28	J	0.113	4,935
29	J	0.113	4,935
30	J	0.113	4,935

LOT AREA TABLE			
LOT	BLOCK	ACRES	SQUARE FEET
31	J	0.113	4,935
32	J	0.113	4,935
33	J	0.113	4,935
34	J	0.113	4,935
35	J	0.113	4,935
36	J	0.113	4,935
37	J	0.113	4,935
38	J	0.113	4,935
39	J	0.113	4,935
40	J	0.113	4,935
41	J	0.113	4,935
42	J	0.113	4,935
43	J	0.113	4,935
44	J	0.113	4,935
45	J	0.132	5,741

LOT AREA TABLE			
LOT	BLOCK	ACRES	SQUARE FEET
3	K	0.105	4,558
4	K	0.105	4,566
5	K	0.105	4,571
6	K	0.105	4,576
7	K	0.105	4,582
8	K	0.105	4,587
9	K	0.105	4,593
10	K	0.106	4,598
11	K	0.106	4,604
12	K	0.105	4,591
13	K	0.114	4,963
14	K	0.198	8,613
15	K	0.196	8,523
16	K	0.116	5,071
17	K	0.109	4,756
18	K	0.110	4,810
19	K	0.110	4,810
20	K	0.110	4,810
21	K	0.110	4,810

LOT AREA TABLE			
LOT	BLOCK	ACRES	SQUARE FEET
22	K	0.110	4,810
23	K	0.110	4,810
24	K	0.110	4,810
25	K	0.110	4,810
26	K	0.110	4,810
27	K	0.110	4,810
28	K	0.110	4,810
29	K	0.110	4,810
30	K	0.110	4,809
31	K	0.110	4,809
32	K	0.110	4,809
33	K	0.110	4,809
34	K	0.110	4,809
35	K	0.110	4,809
36	K	0.110	4,809
37	K	0.110	4,809
38	K	0.110	4,809
39	K	0.135	5,877

FINAL PLAT

# HYMEADOW SECTION 3, PHASE 4

A SUBDIVISION OF 24.091 ACRES OF LAND  
LOCATED IN THE  
WILLIAM HEMPHILL SURVEY,  
ABSTRACT NO. 221  
HAYS COUNTY, TEXAS



BGE, Inc.  
7330 San Pedro Ave., Suite 202  
San Antonio, TX 78216  
Tel: 210-581-3600 • www.bgeinc.com  
TBPELS Registration No. F-1046  
TBPELS Licensed Surveying Firm No. 10194490

LEGAL DESCRIPTION

FIELD NOTES FOR A 24.091 ACRE TRACT OF LAND IN THE WILLIAM HEMPHILL SURVEY, ABSTRACT NO. 221, HAYS COUNTY, TEXAS; BEING THE REMAINDER OF A CALLED 37.622 ACRE TRACT OF LAND AS CONVEYED UNTO ARROYO CAP II-1, LLC IN DOCUMENT NUMBER 21057783 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS; SAID 24.091 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING A 1/2-INCH IRON ROD WITH A CAP STAMPED 'BGE INC'SET ON THE SOUTHWEST LINE OF A CALLED 811.38 ACRE TRACT OF LAND AS CONVEYED UNTO LASALLE HOLDINGS LTD IN DOCUMENT NUMBER 06011869 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, AT THE COMMON CORNER OF THE REMAINDER OF SAID 37.622 ACRE TRACT AND HYMEADOW SECTION 3, PHASE 2 AS RECORDED IN DOCUMENT NUMBER 21033872 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, FOR THE SOUTHEAST CORNER AND POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT;

THENCE, S 43°55'01" W, COINCIDENT WITH THE COMMON LINE OF THE REMAINDER OF THE 37.622 ACRE TRACT AND SAID HYMEADOW SECTION 3, PHASE 2, A DISTANCE OF 565.20 FEET TO A 1/2-INCH IRON ROD WITH A CAP STAMPED 'BGE INC'SET AT THE COMMON CORNER OF THE REMAINDER OF THE 37.622 ACRE TRACT, HYMEADOW SECTION 3, PHASE 2, HYMEADOW SECTION 3, PHASE 1 AS RECORDED IN DOCUMENT NUMBER 21033877 AND HYMEADOW SECTION 3, PHASE 3 AS RECORDED IN DOCUMENT NUMBER 22034462, BOTH RECORDED IN THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, COINCIDENT WITH THE COMMON LINE OF THE REMAINDER OF THE 37.622 ACRE TRACT AND SAID HYMEADOWS SECTION 3, PHASE 3 THE FOLLOWING SEVEN (7) COURSES:

- 1) N 46°04'59" W, A DISTANCE OF 1,264.00 FEET TO A 1/2-INCH IRON ROD WITH A CAP STAMPED 'BGE INC'SET FOR AN ANGLE POINT OF THE HEREIN DESCRIBED TRACT;
- 2) N 50°01'23" W, A DISTANCE OF 291.08 FEET TO A 1/2-INCH IRON ROD WITH A CAP STAMPED 'BGE INC'SET FOR A RE-ENTRANT CORNER OF THE HEREIN DESCRIBED TRACT;
- 3) S 43°55'01" W, A DISTANCE OF 40.00 FEET TO A 1/2-INCH IRON ROD WITH A CAP STAMPED 'BGE INC'SET FOR A CORNER OF THE HEREIN DESCRIBED TRACT;
- 4) N 46°04'59" W, A DISTANCE OF 112.76 FEET TO A 1/2-INCH IRON ROD WITH A CAP STAMPED 'BGE INC'SET FOR A CORNER OF THE HEREIN DESCRIBED TRACT;
- 5) N 49°37'20" E, A DISTANCE OF 22.01 FEET TO A 1/2-INCH IRON ROD WITH A CAP STAMPED 'BGE INC'SET FOR A RE-ENTRANT CORNER OF THE HEREIN DESCRIBED TRACT;
- 6) N 42°30'56" W, A DISTANCE OF 50.00 FEET TO A 1/2-INCH IRON ROD WITH A CAP STAMPED 'BGE INC'SET FOR AN ANGLE POINT OF THE HEREIN DESCRIBED TRACT;
- 7) N 46°04'59" W, A DISTANCE OF 113.46 FEET TO A 1/2-INCH IRON ROD WITH A CAP STAMPED 'BGE INC'SET ON THE COMMON LINE OF THE REMAINDER OF THE 37.622 ACRE TRACT AND THE AFOREMENTIONED 811.38 ACRE TRACT FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 43°43'19" E, COINCIDENT WITH SAID COMMON LINE, A DISTANCE OF 600.26 FEET TO A 1/2-INCH IRON ROD WITH A CAP STAMPED 'BGE INC'SET FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, S 46°04'52" E, CONTINUING COINCIDENT WITH SAID COMMON LINE, A DISTANCE OF 1,830.37 FEET TO THE POINT OF BEGINNING AND CONTAINING 24.091 ACRES OF LAND, MORE OR LESS.

STATE OF TEXAS §  
COUNTY OF HAYS §

KNOW ALL MEN BY THESE PRESENTS:

THAT ARROYO CAP II-1, LLC, BEING THE OWNER OF THE REMAINDER OF A CALLED 37.622 ACRE TRACT OF LAND OUT OF THE THE WILLIAM HEMPHILL SURVEY, ABSTRACT NO. 221, HAYS COUNTY, TEXAS, CONVEYED BY SPECIAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 21057783 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, DOES HEREBY SUBDIVIDE 24.091 ACRES OF LAND IN ACCORDANCE WITH THE ATTACHED MAP OR PLAT SHOWN HEREON;

DO HEREBY ADOPT THIS PLAT DESIGNATING THE 24.091 ACRE TRACT AS HYMEADOW SECTION 3, PHASE 4

AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, PUBLIC EASEMENTS AND PUBLIC PLACES SHOWN HEREON UNLESS OTHERWISE INDICATED EITHER BY PLAT OR SEPARATE INSTRUMENT,

AND THAT THIS PLAT IS SUBJECT TO ALL OF THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF SAN MARCOS AND THE COUNTY OF HAYS, TEXAS.

WITNESS MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

JEFFREY B. BROUETTE, EXECUTIVE VICE PRESIDENT  
ARROYO CAP II, LLC  
18575 JAMBOREE RD., SUITE 300  
IRVINE, CALIFORNIA 92612

STATE OF CALIFORNIA:  
COUNTY OF ORANGE:

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF CALIFORNIA, ON THIS DAY PERSONALLY APPEARED JEFFREY B. BROUETTE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES ON:

SURVEYOR'S CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS:

THAT I, DION P. ALBERTSON, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY EMPLOYEES OF BGE INC. ON THE GROUND ON MARCH 3, 2021, AND THE CORNER MONUMENTS SHOWN THEREON AS "SET" WILL BE PROPERLY PLACED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF SAN MARCOS UPON COMPLETION OF CONSTRUCTION.

DION P. ALBERTSON, R.P.L.S. NO. 4963  
BGE, INC.  
7330 SAN PEDRO AVE, SUITE 202  
SAN ANTONIO, TEXAS 78216

DATE

ENGINEER'S CERTIFICATION:

I, CHELSEA OSBOURN, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING, AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STANDPOINT, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

NO PORTION OF THIS TRACT IS WITHIN THE BOUNDARIES OF THE 100 YEAR FLOOD OF A WATERWAY THAT IS WITHIN THE LIMITS OF STUDY OF THE FEDERAL FLOOD INSURANCE ADMINISTRATION FIRM PANEL 48209C0415F, WITH A REVISED DATE OF SEPTEMBER 2, 2005, FOR HAYS COUNTY, TEXAS, AND INCORPORATED AREAS.

CHELSEA OSBOURN, P.E. NO. 140080

ENGINEERING BY:  
BGE, INC.  
1701 DIRECTORS BLVD., SUITE 1000  
AUSTIN, TEXAS 78744  
512-879-0400  
TEXAS REGISTERED ENGINEERING FIRM F-1046

FINAL PLAT

# HYMEADOW SECTION 3, PHASE 4

A SUBDIVISION OF 24.091 ACRES OF LAND  
LOCATED IN THE  
WILLIAM HEMPHILL SURVEY,  
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## **PC-21-72**

### **Hymeadow Section 3 Ph 4**

Consider a request by BGE, Inc on behalf of Arroyo Cap II, LLC for a Final Plat consisting of 24.091 acres, more or less, out of the William Hemphill Survey, Abstract No. 221, generally located on the western side of SH-21 approximately 150' northeast of the intersection between Peridot Pass and Haywood Manor in Hays County, Texas. (J. Cleary)



# Property Information

- Located on SH-21 in the ETJ in Hays County
- Approximately 24 acres
- 169 residential lots proposed
- Part of the Preliminary Plat for Sunset Oaks approved May 2018 (PC-17-38\_02)

PC-21-72

Hymeadow Sec 3 Ph 4 - Peridot Pass/ Haywood Manor

Aerial

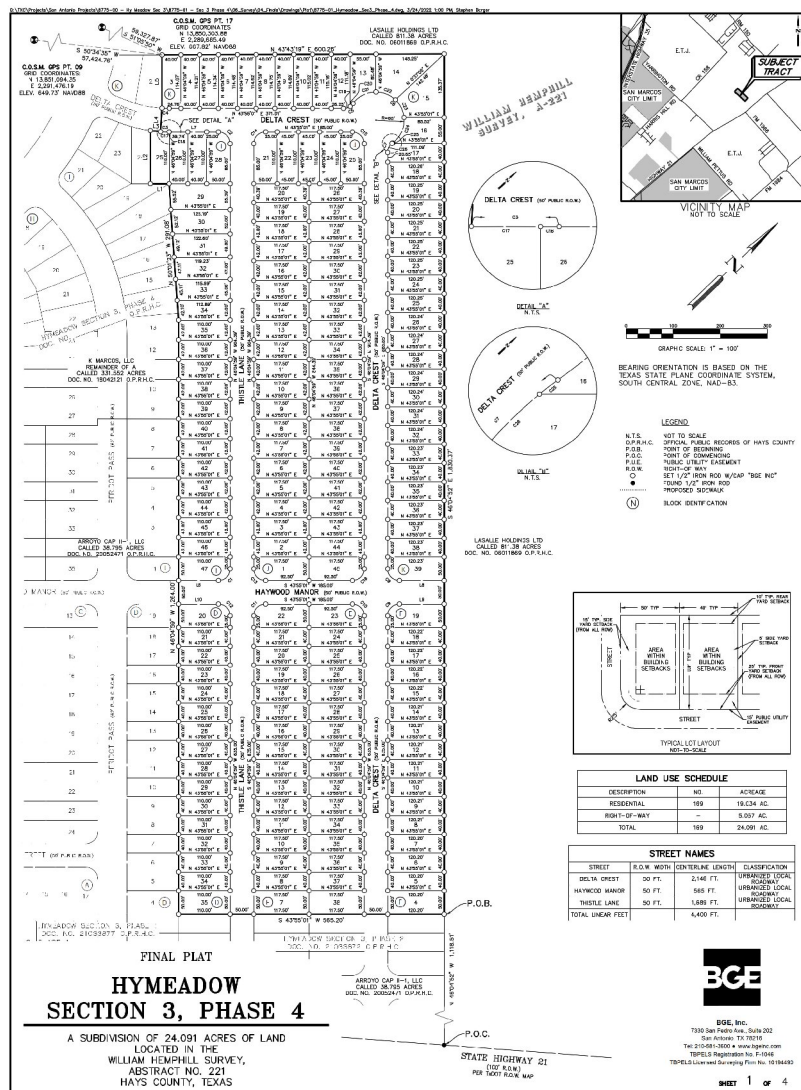


Subject Property  
Parcel

0 225 450 900 Feet  
N  
This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.  
Date: 4/17/2023

SAN MARCOS Planning and Development Services







# Recommendation

- Staff recommends **approval** of the plat as presented.



## Legislation Text

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**File #:** PC-23-14, **Version:** 1

---

**AGENDA CAPTION:**

PC-23-14 (Waterstone Unit A Final Plat) Consider a request by Doucet and Associates, Inc, on behalf of DRP TX 3, LLC to approve a Final Plat, consisting of approximately 25.88 acres, more or less, out of the William Hemphill Survey, Abstract No. 221, generally located on CR 158 south of the intersection between CR 158 and Woodlands Drive, in Hays County, Texas (J. Cleary)

**Meeting date:** May 9, 2023

**Department:** Planning and Development Services

**Amount & Source of Funding**

**Funds Required:** N/A

**Account Number:** N/A

**Funds Available:** N/A

**Account Name:** N/A

**Fiscal Note:**

**Prior Council Action:** Click or tap here to enter text.

**City Council Strategic Initiative:** [Please select from the dropdown menu below]

N/A

N/A

N/A

**Comprehensive Plan Element (s):** [Please select the Plan element(s) and Goal # from dropdown menu below]

- ☐ Economic Development - Choose an item.
- ☐ Environment & Resource Protection - Choose an item.
- ☐ Land Use - Choose an item.
- ☐ Neighborhoods & Housing - Choose an item.
- ☐ Parks, Public Spaces & Facilities - Choose an item.
- ☐ Transportation - Choose an item.
- ☐ Core Services



☒ Not Applicable

**Master Plan:** *[Please select the corresponding Master Plan from the dropdown menu below (if applicable)]*

Vision San Marcos - A River Runs Through Us

**Background Information:**

The Waterstone development, previously LaSalle, was negotiated in 2014 through a development agreement and is located outside the City Limits. The Development Agreement requires compliance with Smart Code, previously Subpart C of the City's Code of Ordinances. A Preliminary Plat for Waterstone Units A-C was approved in January, 2022 (PC-21-41). Water and wastewater will be provided through a Retail Services Agreement with the City of Kyle and electricity shall be provided by Pedernales Electric Co-operative.

**Council Committee, Board/Commission Action:**

Click or tap here to enter text.

**Alternatives:**

Click or tap here to enter text.

**Recommendation:**

Staff recommend approval of PC-23-14 as presented.

# Plat - Final PC-23-14

## Waterstone Unit A



### Summary

<b>Request:</b>	Consideration of a Final Plat with a total of 95 residential lots		
<b>Applicant:</b>	Doucet & Associates, Inc. 7401B Hwy. 71 W., Ste. 160 Austin, TX 78735	<b>Property Owner:</b>	DRP TX, LLC 590 590 Madison Ave, 13 <sup>th</sup> Floor New York, NY 10022
<b>Parkland Required:</b>	N/A Approved with Development Agreement	<b>Utility Capacity:</b>	By Developer
<b>Accessed from:</b>	CR 158	<b>New Street Names:</b>	Alamito Avenue Magalia Lane Boca Chica Drive Acre Loop Agua Azul Bend

### Notification

<b>Application:</b>	N/A	<b>Neighborhood Meeting:</b>	N/A
<b>Published:</b>	N/A	<b># of Participants:</b>	N/A
<b>Posted:</b>	N/A	<b>Personal:</b>	N/A
<b>Response:</b>	N/A		

### Property Description

<b>Location:</b>	On CR 158 south of the intersection between CR 158 and Woodlands Drive		
<b>Acreage:</b>	+/- 25.88 acres	<b>PDD/DA/Other:</b>	Res.2018-199R
<b>Existing Zoning:</b>	ETJ w/ Development Agreement and MUD	<b>Preferred Scenario:</b>	Low Intensity Zone
<b>Proposed Use:</b>	Residential & Open Space		
<b>CONA Neighborhood:</b>	N/A	<b>Sector:</b>	N/A

### Surrounding Area

	<b>Zoning</b>	<b>Existing Land Use</b>	<b>Preferred Scenario</b>
<b>North of Property:</b>	City of Kyle (Single Family Residential)	Residential	N/A
<b>South of Property:</b>	San Marcos ETJ	Vacant	Low Intensity
<b>East of Property:</b>	San Marcos ETJ	Vacant	Low Intensity
<b>West of Property:</b>	San Marcos ETJ	Vacant	Low Intensity



**Plat - Final**

**PC-23-14**

**Waterstone Unit A**



**Staff Recommendation**

<b>X</b>	<b>Approval as Submitted</b>		Approval with Conditions / Alternate		Denial
<b>Staff:</b> Julia Cleary		<b>Title :</b> Senior Planner		<b>Date:</b> May 5, 2023	

**History**

The Waterstone development, previously LaSalle, was negotiated in 2014 through a development agreement and is located outside the City Limits. The Development Agreement requires compliance with SmartCode, previously Subpart C of the City's Code of Ordinances. A Preliminary Plat for Waterstone Units A-C was approved in January, 2022 (PC-21-41). Water and wastewater will be provided through a Retail Services Agreement with the City of Kyle and electricity shall be provided by Pedernales Electric Co-operative.

**Additional Analysis**

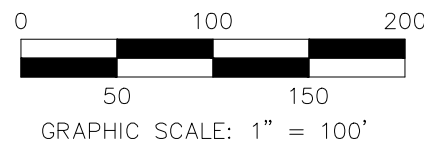
N/A

Plat - Final  
PC-23-14

Waterstone Unit A



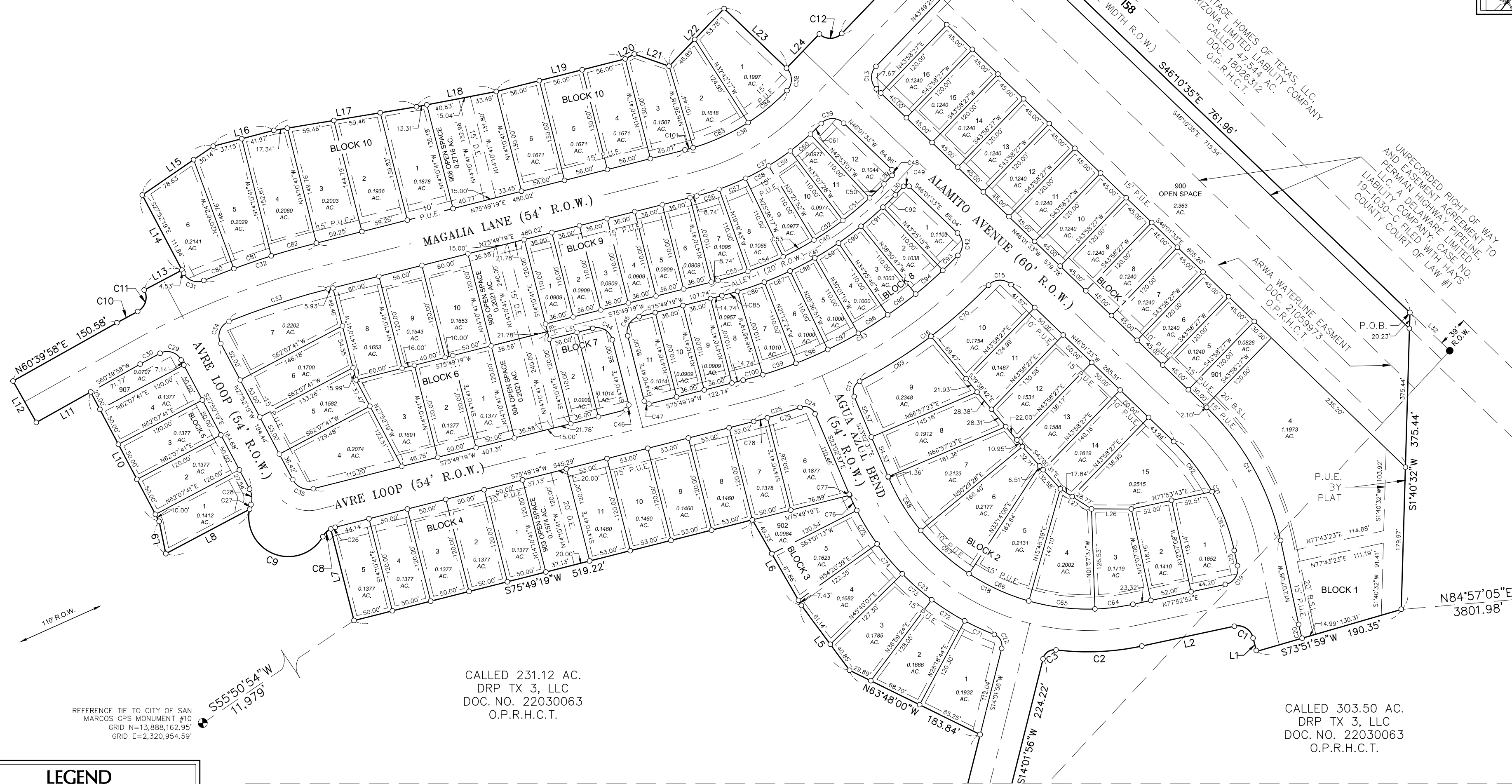
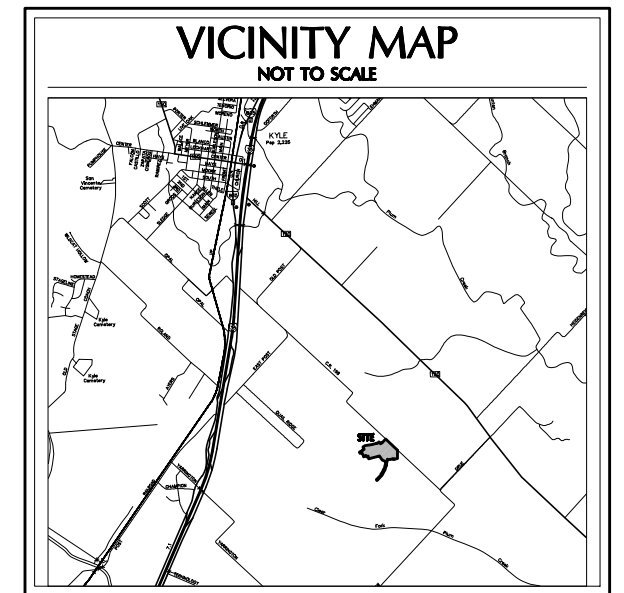
Evaluation			Criteria for Approval (Sec.3.2.3.4)
Consistent	Inconsistent	Neutral	
		<u>N/A</u>	If no preliminary subdivision or development plat has been approved the criteria in Section 3.2.2.4 shall apply; <b><i>A Preliminary Plat has been approved for this site (PC-21-41)</i></b>
<u>X</u>			The final subdivision plat or final development plat, as applicable, conforms to the approved preliminary subdivision plat or preliminary development plat, except for minor changes authorized under Section 3.2.3.5;
		<u>N/A</u>	Where public improvements have been installed, the improvements conform to the approved public improvement construction plans and have been approved for acceptance by the Responsible Official;
<u>X</u>			Where the Planning and Zoning Commission has authorized public improvements to be deferred, the subdivision improvement agreement and surety have been executed and submitted by the property owner in accordance with Section 3.4.2.1; <b><i>Surety will be required prior to plat recordation. Surety for roadway improvements shall be posted with Hays County and water and wastewater shall be posted with the City of Kyle.</i></b>
<u>X</u>			The final layout of the subdivision or development meets all standards for adequacy of public facilities in accordance with Section 3.5.1.1; and
<u>X</u>			The plat meets any County standards to be applied under an interlocal agreement between the City and a County under Tex. Loc. Gov't Code Ch. 242, where the proposed development is located in whole or in part in the extraterritorial jurisdiction of the City and in the county. <b><i>Approval letter has been received from Hays County Development Services confirming it meets their requirements.</i></b>



CALL 231.12 AC.  
DRP TX 3, LLC  
DOC. NO. 22030063  
O.P.R.H.C.T.

WILLIAM HEMPHILL SURVEY  
ABSTRACT NO. 221

PUBLIC UTILITY EASEMENT TO LASALLE  
MUNICIPAL UTILITY DISTRICT NO. 1,  
DOCUMENT 19037217, O.P.R.H.C.T.



REFERENCE TIE TO CITY OF SAN  
MARCOS GPS MONUMENT #10  
GRID N=13,888,162.95'  
GRID E=2,320,954.59'

CALL 231.12 AC.  
DRP TX 3, LLC  
DOC. NO. 22030063  
O.P.R.H.C.T.

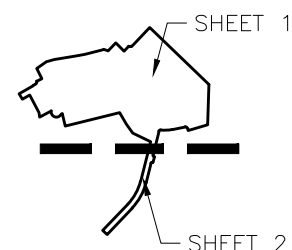
CALL 303.50 AC.  
DRP TX 3, LLC  
DOC. NO. 22030063  
O.P.R.H.C.T.

REFERENCE TIE TO  
HAYS COUNTY GPS  
MONUMENT #120  
GRID N=13,895,235.43'  
GRID E=2,335,976.71'  
ELEV.=675.459'

## LEGEND

—	PHASE BOUNDARY
- - -	ADJOINER PROPERTY LINE
- - -	BUILDING SETBACK LINE + PUE (UNLESS NOTED)
●	1/2" IRON ROD FOUND (UNLESS NOTED)
○	1/2" IRON ROD SET WITH PLASTIC CAP STAMPED "DOUCET"
D.E.	DRAINAGE EASEMENT
O.S.	OPEN SPACE
PUE	PUBLIC UTILITY EASEMENT
BSL	BUILDING SETBACK LINE
WWE	WASTEWATER LINE EASEMENT
VOL.	VOLUME
PG.	PAGE
DOC. NO.	DOCUMENT NUMBER
R.O.W.	RIGHT-OF-WAY
P.R.H.C.T.	PLAT RECORDS, HAYS COUNTY, TEXAS
O.P.R.H.C.T.	OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS
[ ]	CALL 231.12 AC.
Ac.	ACRES

## INDEX MAP



**SURVEYOR'S NOTES:**  
BASIS OF BEARING IS THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE  
[4204], NAD 83 (2011), EPOCH 2010. ALL DISTANCES SHOWN ARE SURFACE  
VALUES AND MAY BE CONVERTED TO GRID BY USING THE SURFACE ADJUSTMENT  
FACTOR OF 1.000081. UNITS: US SURVEY FEET.

THE AREA CALCULATIONS SHOWN ARE CONVERTED FROM SQUARE FOOTAGE AND  
ARE NOTED FOR INFORMATIONAL PURPOSES ONLY.

THIS SURVEY DOES NOT IDENTIFY OR DELINEATE ANY SURFACE OR SUBSURFACE  
MINERAL RIGHTS, NOR DOES IT IDENTIFY ANY RIGHTS TO THE SURFACE RESULTING  
FROM SAID MINERAL RIGHTS.

# MATCHLINE SHEET 2

FINAL PLAT  
WATERSTONE  
UNIT A  
HAYS COUNTY, TEXAS

**DA DOUCET & ASSOCIATES**  
Civil Engineering - Planning - Geospatial  
7401 B. Highway 71 W, Suite 160  
Austin, Texas 78735, Phone: (512)-583-2600  
www.doucetengineers.com  
TBPELS Firm #10105800 / TBPE Firm #3937

Date: 4-17-2023  
Scale: 1"=100'  
Drawn by: SWP  
Reviewer: JB  
Project: 913-004  
Sheet: 1 of 3  
Field Book: -  
Party Chief: -  
Survey Date: -

MATCHLINE SHEET 1

CALLLED 231.12 AC.  
DRP TX 3, LLC  
DOC. NO. 22030063  
O.P.R.H.C.T.

CALLLED 303.50 AC.  
DRP TX 3, LLC  
DOC. NO. 22030063  
O.P.R.H.C.T.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N14°23'05"W	17.29'
L2	S77°52'52"W	119.55'
L3	S14°24'45"W	54.00'
L4	N46°19'29"W	54.00'
L5	N36°35'50"W	101.99'
L6	N29°47'47"W	124.63'
L7	N14°10'41"W	119.30'
L8	S62°07'41"W	120.00'
L9	N11°29'37"W	41.69'
L10	N27°52'19"W	185.00'
L11	S60°39'58"W	78.81'
L12	N29°20'02"W	60.00'
L13	N62°07'41"E	54.00'
L14	N27°52'19"W	107.31'
L15	N55°27'39"E	108.77'
L16	N75°23'03"E	79.11'
L17	N80°36'36"E	182.67'
L18	N79°08'50"E	102.67'
L19	N75°49'19"E	168.00'
L20	N62°00'17"E	13.00'

LINE TABLE		
LINE	BEARING	DISTANCE
L21	S70°51'41"E	46.50'
L22	N43°42'35"E	100.63'
L23	S46°17'25"E	109.01'
L24	N43°53'58"E	60.00'
L25	N12°07'08"W	19.55'
L26	S89°52'10"E	50.30'
L27	S57°14'59"E	46.62'
L28	S14°10'41"E	20.00'
L29	N43°49'25"E	14.88'
L30	N43°49'25"E	14.81'
L31	N75°49'19"E	57.00'
L32	N46°10'35"W	69.68'
L33	S44°14'13"W	47.27'

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	31.13'	20.00'	89°10'19"	N57°31'58"W	28.08'
C2	108.99'	327.00'	19°05'49"	S87°25'47"W	108.49'
C3	21.72'	15.00'	82°56'45"	S55°30'19"W	19.87'
C4	24.37'	15.03'	92°51'54"	S32°27'10"E	21.79'
C5	24.00'	15.01'	91°37'26"	S59°51'39"W	21.53'
C6	272.65'	527.00'	29°38'35"	S28°51'14"W	269.62'
C7	244.71'	473.00'	29°38'35"	N28°51'14"E	241.99'
C8	14.20'	25.00'	32°32'24"	S45°59'11"W	14.01'
C9	141.02'	50.00'	161°35'44"	N69°29'08"W	98.71'
C10	29.72'	1,030.00'	1°39'12"	N61°29'34"E	29.72'
C11	31.48'	20.00'	90°11'28"	N17°13'25"E	28.33'
C12	31.38'	20.00'	89°53'10"	N88°46'00"E	28.26'
C13	31.36'	20.00'	89°50'58"	N01°06'04"W	28.25'
C14	195.29'	330.00'	33°54'25"	N29°04'20"W	192.45'
C15	31.45'	20.00'	90°05'29"	S88°55'43"W	28.31'
C16	204.30'	624.00'	18°45'33"	S53°15'44"W	203.39'
C17	22.43'	15.00'	85°41'08"	S19°47'57"W	20.40'
C18	376.77'	273.00'	79°04'30"	S62°34'52"E	347.57'
C19	31.42'	20.00'	90°00'00"	N32°52'52"E	28.28'
C20	17.85'	262.40'	3°53'55"	N14°03'18"W	17.85'
C21	159.78'	270.00'	33°54'25"	N29°04'20"W	157.46'
C22	21.72'	15.00'	82°56'45"	S27°26'26"E	19.87'
C23	261.79'	327.00'	45°52'11"	S45°58'43"E	254.85'
C24	22.72'	15.00'	86°46'36"	S66°25'56"E	20.61'
C25	61.45'	624.00'	5°38'33"	N73°00'03"E	61.43'
C26	5.92'	25.00'	13°33'56"	S69°02'21"W	5.91'
C27	6.15'	50.00'	7°02'55"	N14°49'59"E	6.15'
C28	20.01'	25.00'	45°51'04"	N04°56'47"W	19.48'
C29	31.16'	20.00'	89°16'24"	N72°30'22"W	28.10'
C30	28.51'	970.00'	1°41'02"	S61°30'29"W	28.51'
C31	29.56'	20.00'	84°40'19"	S70°12'28"E	26.94'
C32	150.39'	1,030.00'	8°21'56"	N71°38'21"E	150.26'
C33	132.10'	970.00'	7°48'11"	N71°55'14"E	132.00'
C34	33.47'	20.00'	95°53'27"	N20°04'25"E	29.70'
C35	30.63'	23.00'	76°18'22"	N66°01'30"W	28.42'
C36	151.05'	270.00'	32°03'10"	N59°47'44"E	149.08'
C37	184.40'	330.00'	32°00'58"	N59°48'50"E	182.01'
C38	31.40'	20.00'	89°57'49"	N01°18'30"W	28.28'
C39	31.47'	20.00'	90°10'06"	N88°53'24"E	28.33'
C40	245.73'	440.00'	31°59'54"	S59°49'22"W	242.55'
C41	256.90'	460.00'	31°59'54"	S59°49'22"W	253.57'
C42	31.38'	20.00'	89°53'38"	N01°04'45"W	28.26'
C43	317.90'	570.00'	31°57'17"	N59°50'40"E	313.79'
C44	31.42'	20.00'	90°00'00"	S59°10'41"E	28.28'
C45	31.42'	20.00'	90°00'00"	S30°49'19"W	28.28'
C46	7.85'	5.00'	90°00'00"	S30°49'19"W	7.07'
C47	7.85'	5.00'	90°00'00"	S59°10'41"E	7.07'
C48	7.84'	5.00'	89°50'58"	S01°06'04"E	7.06'
C49	7.87'	5.00'	90°09'02"	S88°53'56"W	7.08'
C50	25.28'	440.00'	3°17'32"	N45°28'11"E	25.28'
C51	44.23'	440.00'	5°45'35"	N49°59'45"E	44.21'

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C52	44.23'	440.00'	5°45'35"	N55°45'20"E	44.21'
C53	44.23'	440.00'	5°45'35"	N61°30'55"E	44.21'
C54	48.20'	440.00'	6°16'33"	N67°32'00"E	48.17'
C55	39.55'	440.00'	5°09'03"	N73°14'48"E	39.54'
C56	29.67'	330.00'	5°09'03"	S73°14'48"W	29.66'
C57	36.15'	330.00'	6°16'33"	S67°32'00"W	36.13'
C58	33.17'	330.00'	5°45'35"	S61°30'55"W	33.16'
C59	33.17'	330.00'	5°45'35"	S55°45'20"W	33.16'
C60	33.17'	330.00'	5°45'35"	S49°59'45"W	33.16'
C61	19.06'	330.00'	3°18'36"	S45°27'39"W	19.06'
C62	80.05'	270.00'	16°59'14"	N37°31'56"W	79.76'
C63	79.73'	270.00'	16°55'12"	N20°34'43"W	79.44'
C64	48.40'	273.00'	10°09'31"	N82°57'38"E	48.34'
C65	84.44'	273.00'	17°43'16"	S83°05'59"E	84.10'
C66	83.26'	273.00'	17°28'27"	S65°30'07"E	82.94'
C67	82.22'	273.00'	17°15'22"	S48°08'13"E	81.91'
C68	78.45'	273.00'	16°27'54"	S31°16'35"E	78.18'
C69	106.68'	624.00'	9°47'43"	S57°44'39"W	106.55'
C70	97.62'	624.00'	8°57'49"	S48°21'53"W	97.52'
C71	41.24'	327.00'	7°13'33"	N65°18'02"W	41.21'
C72	49.53'	327.00'	8°40'40"	N57°20'56"W	49.48'
C73	49.53'	327.00'	8°40'43"	N48°40'14"W	49.48'
C74	49.51'	327.00'	8°40'32"	N39°59'37"W	49.47'
C75	49.52'	327.00'	8°40'34"	N31°19'04"W	49.47'
C76	21.19'	327.00'	3°42'43"	N25°07'26"W	21.18'
C77	1.28'	327.00'	0°13'26"	N23°09'21"W	1.28'
C78	17.98'	624.00'	1°39'05"	S74°59'47"W	17.98'
C79	43.47'	624.00'	3°59'28"	S72°10'30"W	43.46'
C80	40.81'	1,030.00'	2°16'13"	N68°35'29"E	40.81'
C81	49.99'	1,030.00'	2°46'51"	N71°07'01"E	49.99'
C82	59.28'	1,030.00'	3°17'52"	N74°09'23"E	59.27'
C83	76.65'	270.00'	16°15'59"	N65°25'43"E	76.40'
C84	63.74'	270.00'	13°31'35"	N50°31'56"E	63.59'
C85	20.69'	460.00'	2°34'38"	S74°32'00"W	20.69'
C86	35.74'	460.00'	4°27'05"	S71°01'08"W	35.73'
C87	35.39'	460.00'	4°24'27"	S66°35'22"W	35.38'
C88	35.39'	460.00'	4°24'27"	S62°10'55"W	35.38'
C89	35.39'	460.00'	4°24'27"	S57°46'28"W	35.38'
C90	35.46'	460.00'	4°25'01"	S53°21'44"W	35.45'
C91	36.73'	460.00'	4°34'28"	S48°51'59"W	36.72'
C92	22.12'	460.00'	2°45'20"	S45°12'05"W	22.12'
C93	26.98'	570.00'	2°42'44"	N45°13'23"E	26.98'
C94	45.51'	570.00'	4°34'28"	N48°51'59"E	45.50'
C95	43.94'	570.00'	4°25'01"	N53°21'44"E	43.93'
C96	43.85'	570.00'	4°24'27"	N57°46'28"E	43.84'
C97	43.85'	570.00'	4°24'27"	N62°10'55"E	43.84'
C98	43.85'	570.00'	4°24'27"	N66°35'22"E	43.84'
C99	44.28'	570.00'	4°27'05"	N71°01'08"E	44.27'
C100	25.64'	570.00'	2°34'38"	N74°32'00"E	25.64'
C101	10.65'	270.00'	2°15'37"	N74°41'31"E	10.65'

SURVEYORS NOTES:  
COORDINATES AND BEARINGS SHOWN HEREON ARE BASED ON THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE [4204], NAD83 (2011), EPOCH 2010.

DISTANCES SHOWN HEREON ARE BASED ON SURFACE MEASUREMENTS, TO CONVERT SURFACE DISTANCES TO GRID, DIVIDE BY THE FOLLOWING COMBINED SCALE FACTOR-1.00009768.

THE AREA CALCULATIONS SHOWN ARE CONVERTED FROM SQUARE FOOTAGE AND ARE NOTED FOR INFORMATIONAL PURPOSES ONLY.

THIS SURVEY DOES NOT IDENTIFY OR DELINEATE ANY SURFACE OR SUBSURFACE MINERAL RIGHTS, NOR DOES IT IDENTIFY ANY RIGHTS TO THE SURFACE RESULTING FROM SAID MINERAL RIGHTS.

CALLLED 46.03 AC.  
DRP TX 3, LLC  
DOC. NO. 22030063  
O.P.R.H.C.T.

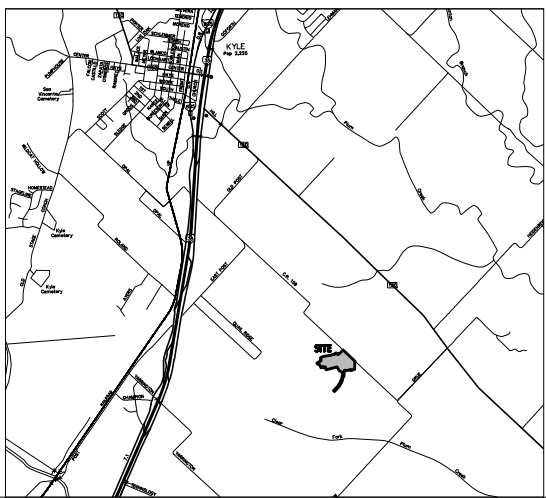
CALLLED 231.12 AC.  
DRP TX 3, LLC  
DOC. NO. 22030063  
O.P.R.H.C.T.

LEGEND

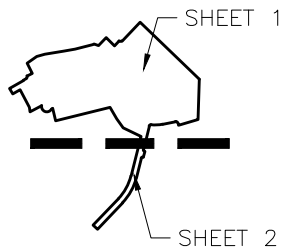
- PHASE BOUNDARY
- ADJOINER PROPERTY LINE
- BUILDING SETBACK LINE + PUE (UNLESS NOTED)
- 1/2" IRON ROD FOUND (UNLESS NOTED)
- 1/2" IRON ROD SET WITH PLASTIC CAP STAMPED "DOUCET"
- DRAINAGE EASEMENT
- OPEN SPACE
- PUE
- PUBLIC UTILITY EASEMENT
- BSL
- BUILDING SETBACK LINE
- WWE
- WASETEWATER LINE EASEMENT
- VOL.
- VOLUME
- PG.
- PAGE
- DOC. NO.
- DOCUMENT NUMBER
- R.O.W.
- RIGHT-OF-WAY
- P.R.H.C.T.
- PLAT RECORDS, HAYS COUNTY, TEXAS
- O.P.R.H.C.T.
- OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS
- [ ]
- AC.
- ACRES

VICINITY MAP

NOT TO SCALE



INDEX MAP



FINAL PLAT  
WATERSTONE  
UNIT A  
HAYS COUNTY, TEXAS

**DOUCET & ASSOCIATES**

Civil Engineering - Planning - Geospatial  
7401 B. Highway 71 W, Suite 160  
Austin, Texas 78735, Phone: (512)-583-2600  
www.doucetengineers.com  
TBPELS Firm #10105800 / TBPE Firm #3937

Date: 4-17-2023  
Scale: 1"=100'  
Drawn by: SWP  
Reviewer: JB  
Project: 913-004  
Sheet: 1 of 3  
Field Book: -  
Party Chief: -  
Survey Date: -

KNOW ALL MEN BY THESE PRESENTS §  
STATE OF TEXAS §  
COUNTY OF TRAVIS §

KNOWN ALL MEN BY THESE PRESENTS, THAT WE, DRP TX 3, LLC, A DELAWARE LIMITED LIABILITY COMPANY, WITH ITS HOME ADDRESS AT 590 MADISON AVENUE, 13TH FLOOR, NEW YORK, NEW YORK 10022, BEING THE OWNERS OF 25.88 ACRES OF LAND IN THE WILLIAM HEMPHILL SURVEY, ABSTRACT NUMBER 221, HAYS COUNTY, TEXAS, AND BEING A PART OF A CALLED 303.50 ACRE TRACT AND A PART OF A CALLED 231.12 ACRE TRACT, DESCRIBED IN DOCUMENT NUMBER 22030063 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS;

DO HEREBY SUBDIVIDE 25.88 ACRES AS SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS

WATERSTONE UNIT A

IN WITNESS WHEREOF, DRP TX 3, LLC, HAVE CAUSED THESE PRESENTS TO BE EXECUTED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ A.D.

PRELIMINARY

BRIAN CLAUSON \_\_\_\_\_ DATE  
DRP TX 3, LLC  
590 MADISON AVENUE  
13TH FLOOR  
NEW YORK, NEW YORK 10022

STATE OF TEXAS §  
COUNTY OF TRAVIS §

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED, \_\_\_\_\_, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HAS ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME IN THE CAPACITY FOR THE PURPOSED AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ A.D.

NOTARY PUBLIC MY COMMISSION EXPIRES:  
IN AND FOR THE STATE OF TEXAS

SURVEYOR'S CERTIFICATION:

STATE OF TEXAS §  
COUNTY OF TRAVIS §

I, JOHN BARNARD, REGISTERED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT THIS PLAT AND ACCOMPANYING LEGAL DESCRIPTION OF EVEN DATE REPRESENT AN ACTUAL SURVEY PERFORMED ON THE GROUND UNDER MY SUPERVISION.

PRELIMINARY

JOHN BARNARD \_\_\_\_\_ 04/17/2023  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 5749  
DOUCET & ASSOCIATES, INC.  
JBARNARD@DOUCETENGINEERS.COM

ENGINEER'S CERTIFICATION:

STATE OF TEXAS §  
COUNTY OF TRAVIS §

I, TRACY A. BRATTON, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THE PLAT AND ALL PLANS AND SPECIFICATIONS WHICH ARE INCLUDED WITH THE PLAT ARE, TO THE BEST OF MY PROFESSIONAL CAPACITY, COMPLETE AND ACCURATE AND IN COMPLIANCE WITH ALL RELEVANT CITY ORDINANCES, CODES, PLANS, AND RELEVANT STATE STANDARDS.

PRELIMINARY

TRACY A. BRATTON, P.E. \_\_\_\_\_ 04/17/2023  
TEXAS REGISTRATION NO. 90095  
DOUCET & ASSOCIATES, INC.  
7401B HIGHWAY 71 WEST, SUITE 160  
AUSTIN, TEXAS 78735

FLOOD NOTE:

THIS PROPERTY IS LOCATED WITHIN UNSHADED ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 48209C0405F EFFECTIVE 09-02-2005 AND ISSUED BY FEMA FOR HAYS COUNTY, TEXAS. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR OR ENGINEER

THE ABOVE STATEMENT IS MEANT FOR FLOOD INSURANCE DETERMINATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S).

HAYS COUNTY:  
STATE OF TEXAS §  
COUNTY OF HAYS §

I, ELAINE HANSON CARDENAS, COUNTY CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D. AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_M., AND DULY RECORDED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D. AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_M., IN THE PLAT \_\_\_\_\_ RECORDS OF HAYS COUNTY, TEXAS IN INSTRUMENT NUMBER \_\_\_\_\_

WITNESS MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D.

PRELIMINARY

ELAINE HANSON CARDENAS, MBA, PHD, COUNTY CLERK  
HAYS COUNTY, TEXAS

HAYS COUNTY:

STATE OF TEXAS §  
COUNTY OF HAYS §

I, THE UNDERSIGNED, DIRECTOR OF THE HAYS COUNTY DEVELOPMENT SERVICES DEPARTMENT, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL HAYS COUNTY REQUIREMENTS AS STATED IN THE INTERLOCAL COOPERATION AGREEMENT BETWEEN HAYS COUNTY AND THE CITY OF SAN MARCOS FOR SUBDIVISION REGULATION WITHIN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF SAN MARCOS.

PRELIMINARY

MARCUS PACHECO, DIRECTOR  
HAYS COUNTY DEVELOPMENT SERVICES  
HAYS COUNTY, TEXAS

HAYS COUNTY:

STATE OF TEXAS §  
COUNTY OF HAYS §

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR A STATE-APPROVED COMMUNITY WATER SYSTEM. DUE TO DECLINING WATER SUPPLIES AND DIMINISHING WATER QUALITY, PROSPECTIVE PROPERTY OWNERS ARE CAUTIONED BY HAYS COUNTY TO QUESTION THE SELLER CONCERNING GROUNDWATER AVAILABILITY. RAINWATER COLLECTION IS ENCOURAGED AND IN SOME AREAS MAY OFFER THE BEST RENEWABLE WATER RESOURCE.

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SEWER SYSTEM OR TO AN ON-SITE WASTEWATER SYSTEM WHICH HAS BEEN APPROVED AND PERMITTED BY HAYS COUNTY DEVELOPMENT SERVICES.

NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL HAYS COUNTY DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MET.

PRELIMINARY

MARCUS PACHECO, DIRECTOR  
HAYS COUNTY DEVELOPMENT SERVICES  
HAYS COUNTY, TEXAS

PRELIMINARY

ERIC VAN GAASBEEK R.S., C.F.M.,  
HAYS COUNTY FLOODPLAIN ADMINISTRATOR  
HAYS COUNTY, TEXAS

CITY OF SAN MARCOS  
APPROVAL CERTIFICATE

APPROVED AND AUTHORIZED TO BE RECORDED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY THE PLANNING ZONING COMMISSION OF THE CITY OF SAN MARCOS, TEXAS.

CIP & ENGINEERING \_\_\_\_\_ DATE

DIRECTOR OF PLANNING & DEVELOPMENT SERVICES \_\_\_\_\_ DATE

RECORDING SECRETARY \_\_\_\_\_ DATE

CHAIRMAN, PLANNING & ZONING COMMISSION \_\_\_\_\_ DATE

WATER & WASTEWATER UTILITY APPROVAL:

WATER

CITY OF KYLE: LEON BARBA, CITY ENGINEER \_\_\_\_\_ DATE

WASTEWATER

CITY OF KYLE: LEON BARBA, CITY ENGINEER \_\_\_\_\_ DATE

BUILDING SETBACKS AND P.U.E.:

FRONT BSL= 18' MAX./10' MIN.  
SIDE STREET BSL= 10'  
SIDE BSL= 5'  
BACK BSL= 5'  
ELECTRIC PUE= 15' MAX./10' MIN. (FRONT ONLY)  
GAS PUE=15' MAX./10' MIN. (FRONT ONLY)

AREA TABLE:

1. TOTAL LOT ACREAGE: 18.55 ACRES.  
THIS PROJECT CONTAINS 103 LOTS, AVERAGING 0.1800 AC. THERE ARE:  
0 LOTS > 10 AC;  
0 LOT BETWEEN 10 AC AND 5 AC;  
1 LOTS BETWEEN 5 AC AND 2 AC;  
1 LOTS BETWEEN 2 AC AND 1 AC;  
101 LOTS < 1 AC.

2 THE TOTAL AREA OF STREET IN THIS SUBDIVISION IS 7.33 ACRES.

3. THE TOTAL LENGTH OF ALL STREETS IN THIS SUBDIVISION IS 6,087 LINEAR FEET.

TOTAL ACREAGE: 25.88 ACRES.

NOTES:

- THIS FINAL PLAT IS ONLY FOR THE IDENTIFIED IMPROVEMENTS. ADDITIONAL ROADWAYS AND UTILITIES WILL BE REQUIRED TO SERVE THIS DEVELOPMENT.
- THIS TRACT OF LAND IS ENTIRELY WITHIN HAYS COUNTY AND THE CITY OF SAN MARCOS ETJ.
- FIRE HYDRANT SPACING AND WATER FLOW WILL MEET CITY OF KYLE SPECIFICATIONS.
- THIS PLAT (AND THE LOTS THEREIN) ARE SUBJECT TO THE APPROVED WATERSTONE REGULATING PLAN. CITY OF SAN MARCOS REFERENCE NUMBER RP-19-01.
- AS USED HEREIN, THE TERM "DEVELOPER" SHALL MEAN "DRP TX3, LLC" OR ITS SUCCESSORS OR ASSIGNS.
- OPEN SPACE LOTS 900-907 ARE HEREBY DEDICATED BY THIS PLAT AS PUBLIC ACCESS EASEMENTS AND SHALL BE PRIVATELY MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- OPEN SPACE/DRAINAGE EASEMENTS TO BE MAINTAINED BY LASALLE MUD 1.
- POST-CONSTRUCTION STORMWATER CONTROL MEASURES SHALL HAVE A MAINTENANCE PLAN. THE MAINTENANCE PLAN MUST BE FILED IN THE REAL PROPERTY RECORDS OF HAYS COUNTY. THE OWNER OPERATOR OF ANY NEW DEVELOPMENT OR REDEVELOPMENT SITE SHALL DEVELOP AND IMPLEMENT A MAINTENANCE PLAN ADDRESSING MAINTENANCE REQUIREMENTS FOR ANY STRUCTURAL CONTROL MEASURES INSTALLED ON SITE. OPERATION AND MAINTENANCE PERFORMED SHALL BE DOCUMENTED AND RETAINED AND MADE AVAILABLE FOR REVIEW UPON REQUEST.
- ALL STREET R.O.W. INCLUDED IN THIS LIST TO BE DEDICATED TO THE PUBLIC. ALL ALLEYWAY R.O.W. WILL BE PRIVATE. HAYS COUNTY IS NOT RESPONSIBLE FOR ALLEYWAY MAINTENANCE.
- ALL ROADWAYS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH APPLICABLE HAYS COUNTY STANDARDS.
- HAYS COUNTY IS NOT RESPONSIBLE FOR SIDEWALK MAINTENANCE. A FULLY EXECUTED LICENSE AGREEMENT MUST BE IN-PLACE PRIOR TO CONSTRUCTION OF SIDEWALKS WITHIN HAYS COUNTY ROW.
- SIDEWALKS ARE REQUIRED IN ACCORDANCE WITH THE APPROVED REGULATING PLAN.
- SIDEWALKS TO BE MAINTAINED BY LASALLE MUD #1.
- THIS PROJECT IS NOT LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE OR CONTRIBUTING ZONE.
- POST-DEVELOPMENT CONDITIONS RUNOFF RATE SHALL BE NO GREATER THAN THE PRE-DEVELOPED CONDITION FOR 2, 5, 10, 25, AND 100 YEAR STORM EVENTS. PRE AND POST DEVELOPMENT RUNOFF CALCULATIONS SHALL BE INCLUDED WITH THE CONSTRUCTION DRAWINGS FOR THIS SUBDIVISION.
- THIS PROJECT IS LOCATED WITHIN THE HAYS CONSOLIDATED INDEPENDENT SCHOOL DISTRICT, EMERGENCY SERVICE DISTRICTS #5 AND #9, AND PLUM CREEK GROUNDWATER CONSERVATION DISTRICT.
- THE FOLLOWING GPS BENCHMARKS ARE TIED TO AND REFERENCED ON THIS PLAT:

CITY OF SAN MARCOS GPS CONTROL MONUMENT #10  
ALUMINUM DISK SET IN CONCRETE  
GRID N=13,888,162.95'  
GRID E=2,320,954.59'  
ELEV.=629.43'

HAYS COUNTY GPS CONTROL MONUMENT #H120  
GRID N=13,895,235.43'  
GRID E=2,335,976.71'  
ELEV.=675.459'




FINAL PLAT  
WATERSTONE  
UNIT A  
HAYS COUNTY, TEXAS

STREET SUMMARY			
STREET NAME	R.O.W. WIDTH	PAVEMENT WIDTH	LINEAR FEET
ALAMITO AVENUE	60' R.O.W.	36'	985
MAGALIA LANE	54' R.O.W.	36'	1,406
BOCA CHICA DRIVE	54' R.O.W.	30'	1,128
AVRE LOOP	54' R.O.W.	30'	1,307
AGUA AZUL BEND	54' R.O.W.	30'	735
ALLEY-1	20' R.O.W.	18'	526
			TOTAL
			6,087

LOT SUMMARY	
TOTAL NUMBER OF BLOCKS	9
TOTAL NUMBER OF LOTS	103
RESIDENTIAL LOTS	95
DRAINAGE EASEMENT LOTS	0
LANDSCAPE LOTS	0
COMMERCIAL LOTS	0
OPEN SPACE LOTS	8
TOTAL OVERALL ACREAGE	25.88





-  Subject Property
-  Parcel
-  ETJ



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 4/18/2023





# FINAL SUBDIVISION / DEVELOPMENT PLAT APPLICATION

Updated: September, 2020



## CONTACT INFORMATION

<b>Applicant's Name</b>	Jacob Harris, PE (AGENT)	<b>Property Owner</b>	Houdin Honarvar
<b>Company</b>	Doucet	<b>Company</b>	DRP TX3, LLC
<b>Mailing Address</b>	7401 B HWY. 71 WEST, SUITE 160 AUSTIN, TEXAS 78735	<b>Mailing Address</b>	590 Madison Avenue, 13th Floor New York, NY 10022
<b>Phone #</b>	512-583-2600	<b>Phone #</b>	469-583-9989
<b>Email</b>	jharris@doucetengineers.com	<b>Email</b>	Brian.Clauson@domainrealestatepartners.com

## PROPERTY INFORMATION

**Proposed Subdivision Name:** Waterstone Subdivision Unit A

**Subject Property Address or General Location:** CR 158, Hays County

**Acres:** 25.88 Ac. **Tax ID #: R** R11565, R175895, R70463

**Located in:** ☐ City Limits ☒ Extraterritorial Jurisdiction (County)

## DESCRIPTION OF REQUEST

**Type of Plat:** ☒ Final Subdivision Plat ☐ Final Development Plat

**Current Number of Lots:** \_\_\_\_\_ **Current Land Use:** Open Space

**Proposed Number of Lots:** 103 and ROW **Proposed Land Use:** Single Family, open space, ROW

## AUTHORIZATION

*I certify that the information on this application is accurate. I understand the fees and the process for this application. I understand my responsibility, as the applicant, to be present at meetings regarding this request.*

**Filing Fee \$1,321 plus \$100 per acre**

**Technology Fee \$13**

**MAXIMUM COST \$2,513**

**Submittal of this digital Application shall constitute as acknowledgement and authorization to process this request.**

**APPLY ONLINE – [WWW.MYGOVERNMENTONLINE.ORG/](http://WWW.MYGOVERNMENTONLINE.ORG/)**

## SUBDIVISION IMPROVEMENT AGREEMENT ACKNOWLEDGEMENT

I understand, whenever public improvements to serve the development are deferred until after Final Subdivision or Development Plat approval, the property owner shall enter into a Subdivision Improvement Agreement by which the owner covenants to complete all required public improvements no later than two (2) years following the date upon which the Final Plat is approved.

- ☒ All required public improvements will be completed prior to approval of the Final Subdivision or Development Plat
- ☐ I wish to defer installation of public improvements until after approval of the Final Subdivision or Development Plat and have attached a Subdivision Improvement Agreement to be considered along with this Plat application
- ☐ The attached Minor / Amending / Preliminary Plat Application does not require a Subdivision Improvement Agreement

Signature of Applicant:  Date: 12/21/2022

## NOTICE OF COMPLETENESS DETERMINATION & STATUTORY REVIEW TIMEFRAMES

I understand that the City of San Marcos requires online submittal of all applications through the Customer Portal at [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and that the Responsible Official will review this application for completeness within 10 business days of online submittal. I understand that this application is not considered "filed" until all required documentation is received and reviewed for completeness. *Upon determination of completeness the City will send written correspondence stating that the application has been filed* and will provide a date, in accordance with the Texas Local Government Code, when the Planning and Zoning Commission will meet to hear the request.

☒ By checking this box I am requesting cursory review of this application prior to determination that the application is complete and filed. Cursory review comments shall not constitute a determination of completeness.

I also understand that as the applicant I may request, in writing, an extension to the statutory review timeframes.

Signature of Applicant:  Date: 12/21/2022

## RECORDATION REQUIREMENTS\*\*\*

### The following are required for recordation, following approval of a Plat application:

- ☐ Two (2) mylars of the subdivision plat (*Comal Co. requires White 20# Bond Paper*)
- ☐ Recording Fee: \$\_\_\_\_\_
- ☐ Tax Certificate, printed within 30 days of recordation date (paid prior to January 31<sup>st</sup> of current year)

### Other possible recording requirements:

- ☐ If public improvements were deferred, Subdivision Improvement Agreement
- ☐ Subdivision Improvement Agreement recording fee: \$\_\_\_\_\_
- ☐ Other legal documents referenced on the plat (i.e. easement dedication by separate instrument, HOA documents)
- ☐ Other recording fee: \$\_\_\_\_\_

\*\*\*Recordation fees, mylars, and other requirements are not due at the time of submittal. Fees will depend on the number of pages needed for recordation and the County in which they are recorded. The total will be calculated upon approval.





## **PC-23-14**

# **Waterstone Unit A Final Plat**

Consider a request by Doucet and Associates, Inc, on behalf of DRP TX 3, LLC to approve a Final Plat, consisting of approximately 25.88 acres, more or less, out of the William Hemphill Survey, Abstract No. 221, generally located on CR 158 south of the intersection between CR 158 and Woodlands Drive, in Hays County, Texas (J. Cleary)



# Property Information

- Approximately 26 acres
- 95 residential lots proposed
- Located in the ETJ (Hays County) and City of Kyle Water/Wastewater CCN
- Development Agreement (Res and Regulating Plan (RP-19-01)).
- Preliminary Plat (PC-21-41) approved January 2022.

PC-23-14

Waterstone Unit A Final Plat - County Road 158

Aerial Map



- Subject Property
- Parcel
- ETJ



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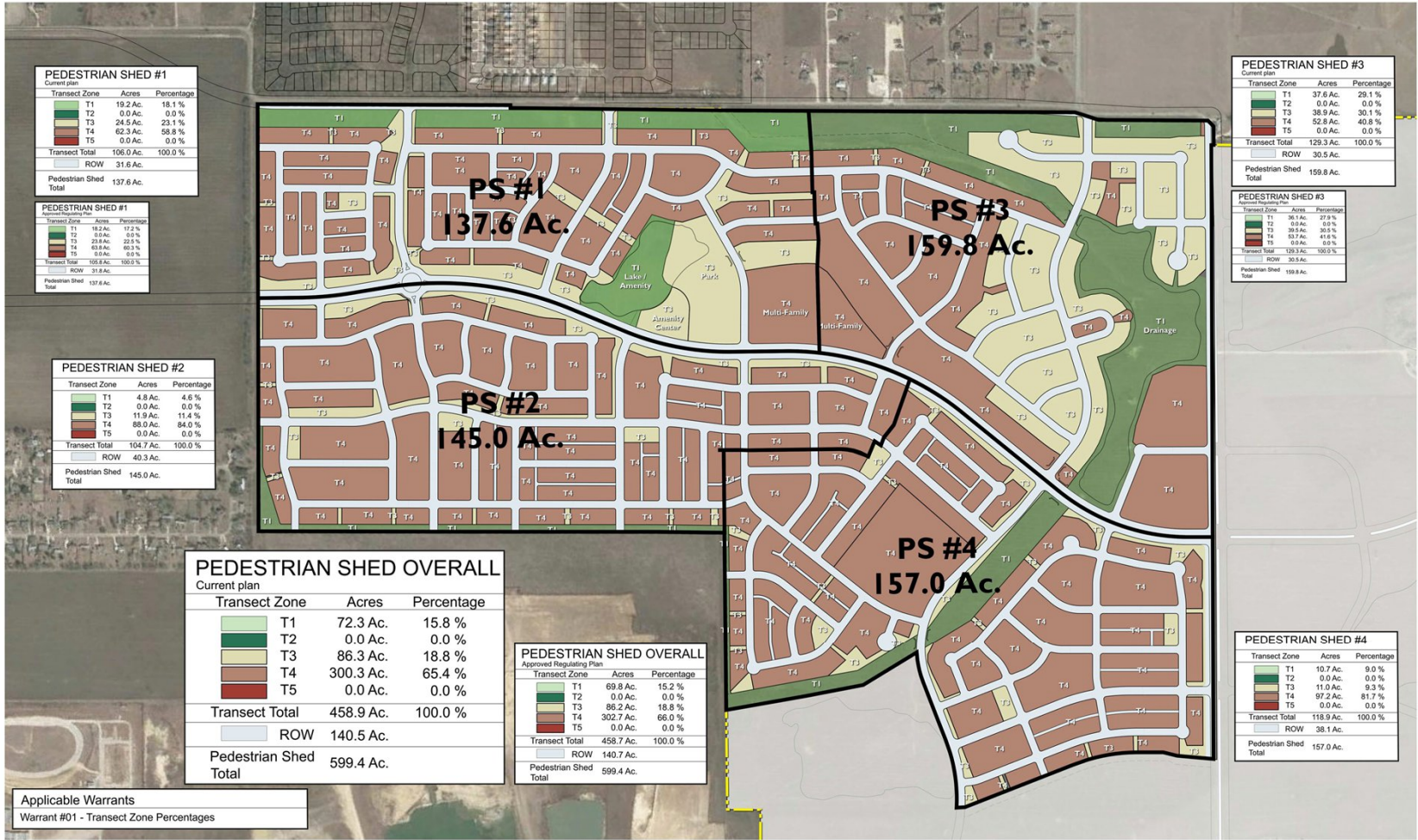
Date: 4/18/2023

**SAN MARCOS** Planning and Development Services





Extract from  
approved  
Regulating  
Plan



RVi  
1700 Congress Avenue  
Austin, Texas 78701  
Tel: 512.454.0000  
www.rviinc.com

**WATERSTONE • TRANSECT ZONES / PEDESTRIAN SHED PLAN**

• Hays County, Texas  
• June 6, 2020 - Revised July 11, 2022 - Revised August 25, 2022 - Revised November 09, 2022 - Revised November 11, 2022  
• # 17001932  
• Tack Development



Information furnished regarding this property is from sources deemed reliable. RVi has not made an independent investigation of these sources and the accuracy of these data is not warranted or guaranteed. This plan is a regulatory approval and does not represent any regulatory approval.  
RVi is not responsible for any errors or omissions in this plan or for any consequences arising therefrom.  
Updated November 2022-11-shp







# Recommendation

- Staff recommends **approval** of the plat as presented.



## Legislation Text

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**File #:** PC-23-03, **Version:** 1

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**AGENDA CAPTION:**

PC-23-03 (Hymeadow Replat) Hold a public hearing and consider a request by Chelsea Osbourn, on behalf of Clayton Properties Group, for approval of a Replat of the Hymeadow Subdivision, Section Two, Block H, Lot 6, creating Block H, Lots 6A and 6B through 6E, consisting of approximately 2.468 acres generally located at the northeast corner of the Alterra Way and Jade Street intersection. (W. Rugeley)

**Meeting date:** May 9, 2023

**Department:** Planning & Development Services

**Amount & Source of Funding**

**Funds Required:** N/A

**Account Number:** N/A

**Funds Available:** N/A

**Account Name:** N/A

**Fiscal Note:**

**Prior Council Action:** N/A

**City Council Strategic Initiative:** [Please select from the dropdown menu below]

N/A

N/A

N/A

**Comprehensive Plan Element (s):** [Please select the Plan element(s) and Goal # from dropdown menu below]

- ☐ Economic Development - Choose an item.
- ☐ Environment & Resource Protection - Choose an item.
- ☐ Land Use - Choose an item.
- ☐ Neighborhoods & Housing - Choose an item.
- ☐ Parks, Public Spaces & Facilities - Choose an item.
- ☐ Transportation - Choose an item.
- ☐ Core Services
- ☒ Not Applicable

**Master Plan:** *[Please select the corresponding Master Plan from the dropdown menu below (if applicable)]*

Choose an item.

**Background Information:**

This replat seeks to create five (5) lots out of one (1) existing lot with four (4) intended for development of single-family homes and one (1) remaining as an amenity center lot. This development is located within the City's ETJ.

**Council Committee, Board/Commission Action:**

Click or tap here to enter text.

**Alternatives:**

Click or tap here to enter text.

**Recommendation:**

Staff recommends **approval** of PC-23-03, as presented.

**Plat - Replat**  
**PC-23-03**

**Hymeadow Replat**  
**Alterra Way & Jade Street**



**Summary**

<b>Request:</b>	Consideration of a Replat creating 5 lots out of 1		
<b>Applicant:</b>	Chelsea Osbourn BGE, Inc. 1701 Directors Blvd, Ste. 1000 Austin, TX 78744	<b>Property Owner:</b>	Clayton Properties Group 6720 Vaught Ranch Road, Ste. 200 Austin, TX 78730
<b>Parkland Required:</b>	0.06 ac (\$1,692 FIL)	<b>Utility Capacity:</b>	Adequate
<b>Accessed from:</b>	Hwy 21 & Alterra Way	<b>New Street Names:</b>	N/A

**Notification**

<b>Published:</b>	4/23/2023	<b># of Participants:</b>	N/A
<b>Response:</b>	None as of the date of this report		

**Property Description**

<b>Location:</b>	Approx. 1,200 NW of the Hwy 21 and Alterra Way intersection		
<b>Acreage:</b>	2.468	<b>PDD/DA/Other:</b>	N/A
<b>Existing Zoning:</b>	ETJ	<b>Preferred Scenario:</b>	Low Intensity Zone
<b>Proposed Use:</b>	SF & Amenity Center		
<b>CONA Neighborhood:</b>	N/A	<b>Sector:</b>	N/A

**Surrounding Area**

	<b>Zoning</b>	<b>Existing Land Use</b>	<b>Preferred Scenario</b>
<b>North of Property:</b>	ETJ	Vacant	Low Intensity Zone
<b>South of Property:</b>	ETJ	Single-Family	Low Intensity Zone
<b>East of Property:</b>	ETJ	Vacant	Low Intensity Zone
<b>West of Property:</b>	ETJ	Vacant	Low Intensity Zone

**Staff Recommendation**

<input checked="" type="checkbox"/> <b>Approval as Submitted</b>	<input type="checkbox"/> Approval with Conditions	<input type="checkbox"/> Denial
<b>Staff:</b> Will Rugeley, AICP		
<b>Title:</b> Planner		<b>Date:</b> May 3, 2023

**History**

N/A.

**Additional Analysis**

N/A.



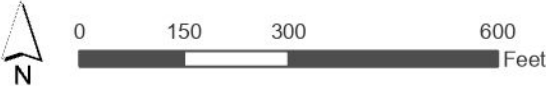
Plat - Replat	Hymeadow Replat Alterra Way & Jade Street
PC-23-03	



Evaluation			Criteria for Approval (Sec.3.2.3.4)
Consistent	Inconsistent	Neutral	
		<u>N/A</u>	If no preliminary subdivision or development plat has been approved the criteria in Section 3.2.2.4 shall apply;
		<u>N/A</u>	The final subdivision plat or final development plat, as applicable, conforms to the approved preliminary subdivision plat or preliminary development plat, except for minor changes authorized under Section 3.2.3.5;
<u>X</u>			Where public improvements have been installed, the improvements conform to the approved public improvement construction plans and have been approved for acceptance by the Responsible Official;
		<u>N/A</u>	Where the Planning and Zoning Commission has authorized public improvements to be deferred, the subdivision improvement agreement and surety have been executed and submitted by the property owner in accordance with Section 3.4.2.1;
<u>X</u>			The final layout of the subdivision or development meets all standards for adequacy of public facilities in accordance with Section 3.5.1.1; and
<u>X</u>			The plat meets any County standards to be applied under an interlocal agreement between the City and a County under Tex. Loc. Gov't Code Ch. 242, where the proposed development is located in whole or in part in the extraterritorial jurisdiction of the City and in the county.



- Subject Property
- Parcel
- ETJ



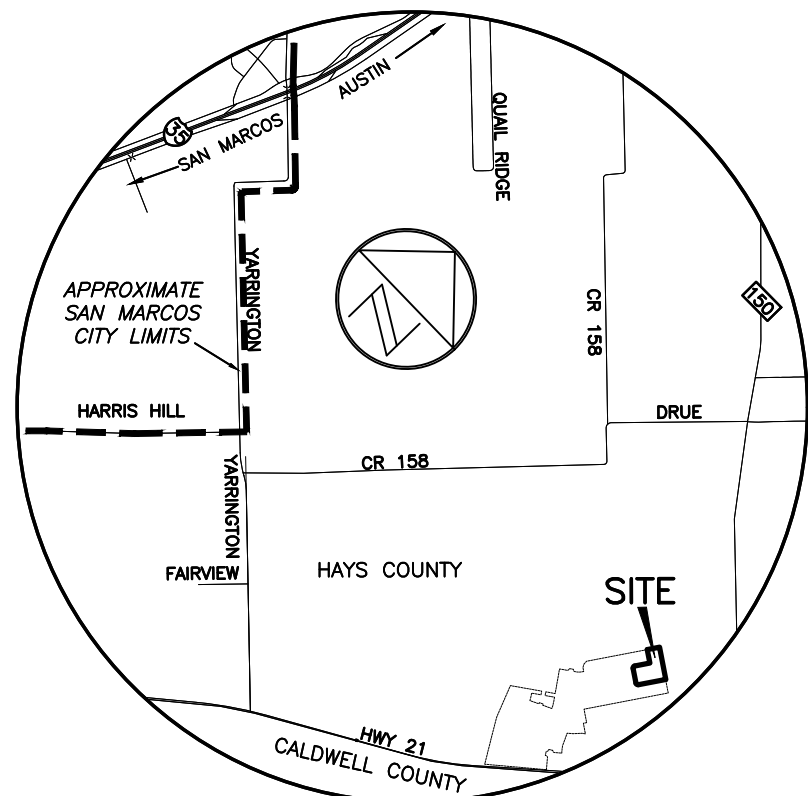
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Date: 4/12/2023





REPLAT:  
LOT 6, BLOCK H HYMEADOW SECTION TWO,  
PHASE TWO  
HAYS COUNTY, TEXAS



LOCATION MAP  
NOT TO SCALE

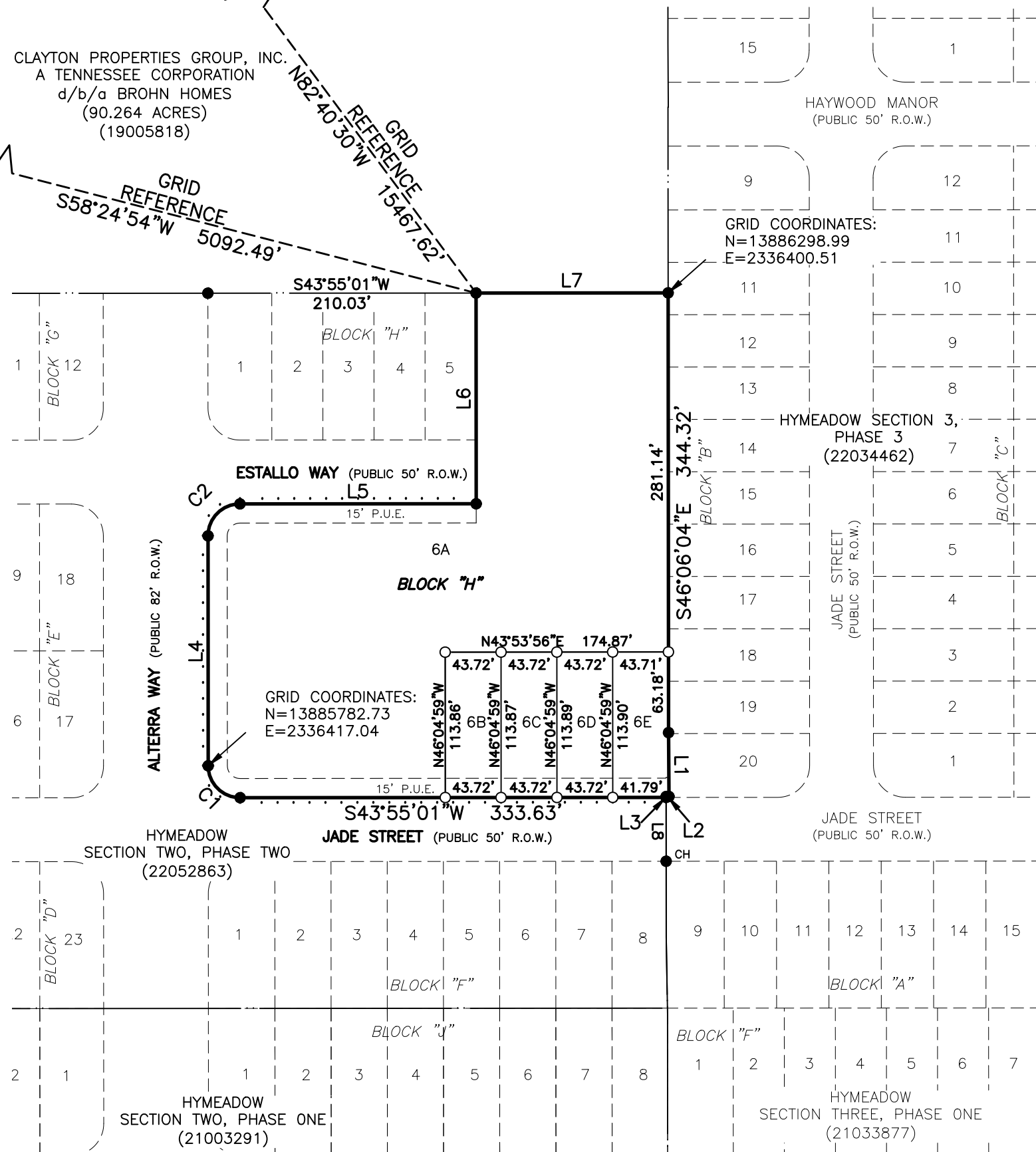
NOTES:

- FIRE HYDRANT SPACING AND WATER FLOW WILL MEET CITY SPECIFICATIONS.
- TYPICAL LOT SIZE 40'X115'
- ALL ROADWAYS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH APPLICABLE HAYS COUNTY STANDARDS, PER HAYS COUNTY DEVELOPMENT REGULATIONS, CHAPTER 721, SUBCHAPTER 5.
- POST-DEVELOPMENT CONDITIONS RUNOFF RATE SHALL BE NO GREATER THAN THE PRE-DEVELOPED CONDITION FOR 2, 5, 10, 25 AND 100 YEAR STORM EVENTS IN THE HEMPHILL CREEK WATERSHED, PER HAYS COUNTY DEVELOPMENT REGULATIONS, CHAPTER 725. SUBCHAPTER 3.02. REFER TO THE FLOODPLAIN STUDY AND DETENTION ANALYSIS REPORTS BY BINKLEY & BARFIELD, INC. DATED DECEMBER 2019 FOR HYMEADOW PRE AND POST DEVELOPMENT FLOWS.
- DRIVEWAYS SHALL COMPLY WITH CHAPTER 721 OF HAYS COUNTY DEVELOPMENT REGULATIONS, AND BE PERMITTED THROUGH THE TRANSPORTATION DEPARTMENT OF HAYS COUNTY UNDER CHAPTER 751.
- ALL CULVERTS, WHEN REQUIRED SHALL COMPLY WITH CURRENT HAYS COUNTY STANDARDS, PER HAYS COUNTY DEVELOPMENT REGULATIONS, CHAPTER 705. SUBCHAPTER 8.03.
- THE LOTS IN THIS SUBDIVISION WILL BE SERVICED BY A GRAVITY WASTEWATER LINES WHICH FLOW INTO A LIFT STATION. THEN THE WASTEWATER WILL FLOW THROUGH A FORCE MAIN TO THE WASTEWATER TREATMENT PLANT ON THE SOUTH SIDE OF HEMPHILL CREEK.
- THIS SUBDIVISION IS LOCATED WITHIN HAYS COUNTY ESD #5 AND HAYS CISD.
- A 15-FOOT WIDE PUBLIC UTILITY EASEMENT IS HEREBY DEDICATED ADJACENT TO STREET RIGHTS-OF-WAY.
- PUBLIC SIDEWALKS, BUILT TO CITY OF SAN MARCOS STANDARDS, ARE REQUIRED ALONG THE FOLLOWING STREETS, AS SHOWN BY A DOTTED LINE ON THE FACE OF THE PLAT: DELTA CREST, ALTERRA WAY, IVY PASSAGE, LINNET LANE. HAYWOOD MANOR, TEMPEST TRAIL, JADE STREET, ESTALLO WAY, AND STATE HIGHWAY 21. THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE ADJOINING LOT BEING OCCUPIED. FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE GOVERNING BODY OR UTILITY COMPANY. SIDEWALKS WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- FLOODPLAIN, AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, AS SHOWN ON MAP NO. 48209C0415F, DATED SEPTEMBER 02, 2005, FOR HAYS COUNTY, TEXAS AND INCORPORATED AREAS. NO SINGLE FAMILY LOTS ARE PROPOSED IN THE 100 YEAR STUDIED FLOODPLAIN.
- UTILITY INFORMATION:  
WATER: MAXWELL W.S.C.  
SEWER: AQUA TEXAS, INC.  
ELECTRICITY: PEDERNALES ELECTRIC COOPERATIVE
- THIS PROJECT IS LOCATED WITHIN THE CURRENT CITY OF SAN MARCOS ETJ.
- ALL RESIDENTIAL LOTS IN THIS SUBDIVISION ARE SUBJECT TO 25 FOOT FRONT BUILDING SETBACK LINES.
- THIS PLAT (AND LOTS THEREIN) ARE SUBJECT TO A PHASING AGREEMENT FOR HYMEADOW SUBDIVISION BETWEEN HAYS COUNTY, TEXAS, KYLE THREE PARTNERS, L.P., AND K MARCOS, LLC, APPROVED APRIL 24, 2018 BY HAYS COUNTY AND ANY AMENDMENTS THEREAFTER.
- DRAINAGE FACILITIES FOR WATER QUALITY PURPOSES AND OPEN SPACE DRAINAGE WAYS WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- LOT 6A, BLOCK H IS AN AMENITY CENTER TO BE DEDICATED TO THE HOMEOWNERS ASSOCIATION AND WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- PARKLAND DEVELOPMENT FEE HAS BEEN ADDRESSED IN PICP PERMIT No. 2021-34629.

C.O.S.M.  
GPS PT. 10  
GRID N: 13,888,162.71  
GRID: E 2,320,954.79  
ELEV. 629.35'  
NADV88

CLAYTON PROPERTIES GROUP, INC.  
A TENNESSEE CORPORATION  
d/b/a BROHN HOMES  
(90.264 ACRES)  
(19005818)

P941  
CHAPARRAL  
CONTROL  
POINT



- SIDEWALKS ARE REQUIRED ON BOTH SIDES OF ALL STREETS AT THE TIME OF DEVELOPMENT.
- CORNER LOTS LOCATED ALONG ALTERRA WAY SHALL NOT TAKE ACCESS FROM ALTERRA WAY. DRIVEWAY FOR THESE LOTS SHALL BE LOCATED ALONG THE PROPERTY LINE AWAY FROM ALTERRA WAY.
- THIS DEVELOPMENT FALLS WITHIN THE BARTON SPRINGS/EDWARDS AQUIFER GROUNDWATER CONSERVATION DISTRICT.
- THIS REPLAT IS SOLELY TO ADD RESIDENTIAL LOTS 6B, 6C, 6D, AND 6E TO BLOCK H. REFER TO ORIGINAL PLAT RECORDED UNDER DOCUMENT NUMBER 22052863, OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS.
- NO PORTION OF THIS PLAT LIES WITHIN THE EDWARDS AQUIFER RECHARGE ZONE OR THE EDWARDS AQUIFER CONTRIBUTING ZONE.

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	25.00'	90°00'00"	39.28'	S88°55'01"W	35.36'
C2	25.00'	90°00'00"	39.28'	N01°04'59"W	35.36'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S46°25'12"E	50.03'
L2	S43°34'49"W	2.23'
L3	S46°04'37"E	0.69'
L4	N46°04'59"W	180.02'
L5	N43°55'01"E	185.02'
L6	N46°04'59"W	165.02'
L7	N43°55'01"E	150.44'
L8	S46°04'37"E	50.01'

SINGLE FAMILY LOTS -- AREA SUMMARY

BLOCK H:		
Lot	Acres	Sq. Ft.
6B	0.11	4,978
6C	0.11	4,979
6D	0.11	4,980
6E	0.11	4,987

AMENITY LOTS -- AREA SUMMARY

BLOCK H:  
LOT 6A            2.01        87,581 Sq Fee

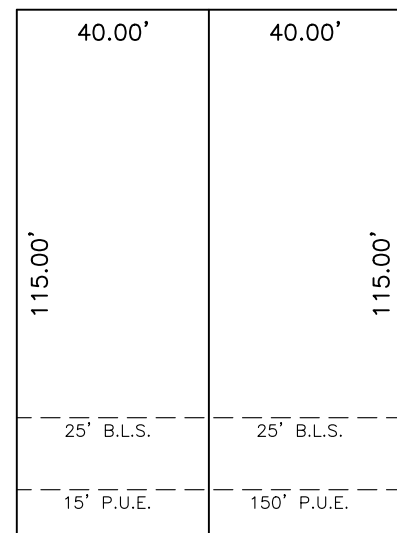
LOT SIZE CHART	
SIZE(AC)	#
≥10	—
≥5 <10	—
≥2 <5	1
≥1 <2	—
<1	4

OWNER AND DEVELOPER:  
CLAYTON PROPERTIES GROUP, INC.  
d.b.a. BROHN HOMES  
6720 VAUGHT RANCH RD. SUITE 200  
AUSTIN, TX. 78730  
(512) 320-8833

ENGINEER:  
BINKLEY & BARFIELD, INC.  
2401 DOUBLE CREEK DRIVE, SUITE 200  
ROUND ROCK, TEXAS 78664  
(512) 292-0006

SURVEYOR:  
CHAPARRAL PROFESSIONAL LAND SURVEYING,  
INC.  
3500 McCALL LANE  
AUSTIN, TX 78744  
(512) 443-1724

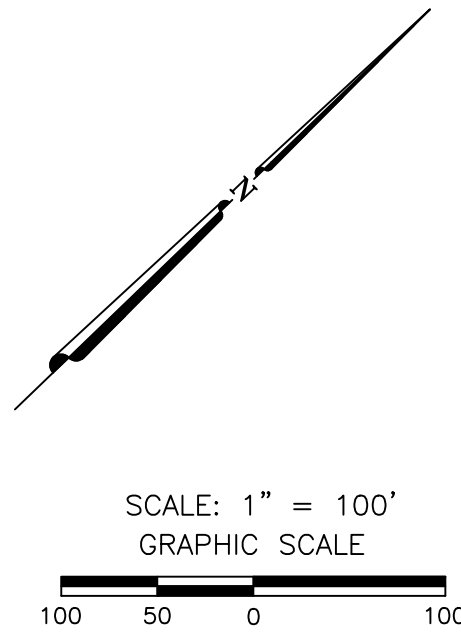
SURVEY ABSTRACT: WILLIAM HEMPHILL SURVEY, ABS. 221  
SUBMITTAL DATE: June 26, 2020  
TOTAL AREA OF THIS PLAT: 2.468 AC.  
TOTAL NUMBER OF LOTS: 5  
RESIDENTIAL: 4  
OPEN SPACE: 0  
AMENITY LOT: 1  
WASTEWATER LOT: 0



TYPICAL LOT  
LAYOUT

SCALE: N.T.S.

CoSM #PC-23-03



LEGEND

- 1/2" REBAR WITH "CHAPARRAL" CAP FOUND
- 1/2" REBAR WITH "CHAPARRAL" CAP SET
- ⊕ CONTROL POINT/BENCHMARK LOCATION
- P.U.E. PUBLIC UTILITY EASEMENT
- ... SIDEWALK LOCATION
- ( ) RECORD INFORMATION

THIS IS A SURFACE DRAWING.

BEARING BASIS: THE TEXAS COORDINATE SYSTEM OF 1983 (NAD83), SOUTH CENTRAL ZONE, BASED ON GPS SOLUTIONS FROM THE NATIONAL GEODETIC SURVEY (NGS) ON-LINE POSITIONING USER SERVICE (OPUS) FOR CHAPARRAL CONTROL POINT "P941".

4" ALUMINUM DISK SET IN CONCRETE

SURFACE COORDINATES:  
N 13885328.23  
E 2332261.23

TEXAS STATE PLANE COORDINATES:  
N 13883523.37  
E 2331958.07

ELEVATION = 672.80'  
VERTICAL DATUM: NAVD 88 (GEOID 12B)

COMBINED SCALE FACTOR = 0.999870017  
(FOR SURFACE TO GRID CONVERSION)

INVERSE SCALE FACTOR = 1.000130  
(FOR GRID TO SURFACE CONVERSION)

SCALED ABOUT 0.0  
THETA ANGLE: 0°33'44"

P941 IS LOCATED 48.4'+/- N.W. FROM A POWER POLE AND 39.0'+/- N.W. FROM A GUY WIRE LOCATED IN THE SOUTHEAST CORNER OF A 65.49 ACRE TRACT TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD. IN DOC. NO. 20008358 OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS.

C.O.S.M. G.P.S. PT. 10 IS LOCATED ON THE NORTHBOUND FEEDER ROAD OF IH 35, EAST SIDE, APPROXIMATELY ONE HALF MILE SOUTH OF TECHNOLOGY WAY.

**Chaparral**  
Professional Land Surveying, Inc.  
Surveying and Mapping  
3500 McCall Lane  
Austin, Texas 78744  
512-443-1724  
Firm No. 10124500

PROJECT NO.:  
1434-001  
DRAWING NO.:  
1434-001-  
PL S2P2 AMEND  
PLOT DATE:  
03/02/2023

PLOT SCALE:  
1"=100'  
DRAWN BY:  
RGH

SHEET  
01 OF 02

REPLAT:  
LOT 6, BLOCK H HYMEADOW SECTION TWO,  
PHASE TWO  
HAYS COUNTY, TEXAS

OWNER’S ACKNOWLEDGEMENT AND DEDICATION STATEMENT:

THAT CLAYTON PROPERTIES GROUP, INC. A TENNESSEE CORPORATION, DOING BUSINESS IN TEXAS AS BROHN HOMES ACTING BY AND THROUGH ADAM BOENIG, VICE PRESIDENT, AS OWNER OF THAT 90.264 ACRE TRACT SITUATED IN THE WILLIAM HEMPHILL SURVEY, ABSTRACT NO. 221, IN HAYS COUNTY, TEXAS, RECORDED IN DOCUMENT NUMBER 19005818, OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS, AND HERETOFORE SUBDIVIDED A 33.411 ACRE PORTION OF SAME AS HYMEADOW SECTION TWO, PHASE TWO, A SUBDIVISION OF RECORD IN DOCUMENT NUMBER 22052863, OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS, DO HEREBY SUBDIVIDE 2.468 ACRES OF SAID 33.411 ACRES AS DESCRIBED IN THE ACCOMPANYING METES AND BOUNDS DESCRIPTION, AND HEREBY ADOPT THIS PLAT DESIGNATING THE TRACT AS FINAL SUBDIVISION PLAT:

REPLAT: LOT 6, BLOCK H, HYMEADOW SECTION TWO, PHASE TWO,

AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER, THE RIGHTS OF WAY, PUBLIC USE AREAS AND OTHER EASEMENTS SHOWN HEREON FOR THE PURPOSES INDICATED; THAT NO BUILDINGS, FENCES OR OTHER OBSTRUCTIONS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE SAID EASEMENTS, EXCEPT AS MAY BE PERMITTED BY THE SAID CITY; THAT SAID EASEMENTS MAY BE FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES SERVING THE PROPERTY, UNLESS AN EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, WITH ALL USES BEING SUBORDINATE TO THAT OF THE CITY OF SAN MARCOS’S; THAT THE SAID CITY AND PUBLIC UTILITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS, WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS LOCATED WITHIN SAID EASEMENTS; AND THAT THE SAID CITY AND PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS TO AND EGRESS FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE; AND THAT THIS PLAT IS SUBJECT TO ALL OF THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF SAN MARCOS AND THE COUNTY OF HAYS, TEXAS.

WITNESS MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CLAYTON PROPERTIES GROUP, INC., A TENNESSEE CORPORATION  
BROHN HOMES, ITS SUBSIDIARY

\_\_\_\_\_, VICE PRESIDENT  
CLAYTON PROPERTIES GROUP, INC.  
ADAM BOENIG, VICE PRESIDENT  
6720 VAUGHT RANCH RD.  
AUSTIN, TX 78730

STATE OF TEXAS:  
COUNTY OF \_\_\_\_\_:

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES ON:

SURVEYOR’S CERTIFICATION:

I, BRYAN D. NEWSOME, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL ON THE GROUND SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION AND THE CORNER MONUMENTS SHOWN HEREON WILL BE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF SAN MARCOS.

Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. (Per “The Board of Professional Engineers and Land Surveyors” Texas Administrative Code, Title 22 - Part 6, Chapter 138, Subchapter B, Rule §138.33, (e))

BRYAN D. NEWSOME, R.P.L.S. NO. 5657  
REGISTERED PROFESSIONAL LAND SURVEYOR, STATE OF TEXAS  
CHAPARRAL PROFESSIONAL LAND SURVEYING, INC.  
3500 McCALL LANE  
AUSTIN, TX 78744  
(512) 443-1724  
TBPLS FIRM NO. 10124500

ENGINEER’S CERTIFICATION:

I, DAVID CALABUIG, SR., AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING, AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STANDPOINT, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

DAVID CALABUIG, SR., P.E. NO. 92786  
REGISTERED PROFESSIONAL ENGINEER, STATE OF TEXAS  
BINKLEY & BARFIELD, INC.  
2401 DOUBLE CREEK DRIVE, SUITE 200  
ROUND ROCK, TEXAS 78664  
(512) 292-0006  
TBPE FIRM REGISTRATION NO. F-257

HAYS COUNTY  
CERTIFICATE OF APPROVAL:

I, THE UNDERSIGNED, DIRECTOR OF THE HAYS COUNTY DEVELOPMENT SERVICES DEPARTMENT, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL HAYS COUNTY REQUIREMENTS AS STATED IN THE INTERLOCAL COOPERATION AGREEMENT BETWEEN HAYS COUNTY AND THE CITY OF SAN MARCOS FOR SUBDIVISION REGULATION WITHIN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF SAN MARCOS.

MARCUS PACHECO, DIRECTOR  
HAYS COUNTY DEVELOPMENT SERVICES

HAYS COUNTY WATER/ WASTEWATER NOTE:

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR A STATE APPROVED COMMUNITY WATER SYSTEM. DUE TO DECLINING WATER SUPPLIES AND DIMINISHING WATER QUALITY, PROSPECTIVE PROPERTY OWNERS ARE CAUTIONED BY HAYS COUNTY TO QUESTION THE SELLER CONCERNING GROUND WATER AVAILABILITY. RAIN WATER COLLECTION IS ENCOURAGED AND IN SOME AREAS MAY OFFER THE BEST RENEWABLE WATER RESOURCE.

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SEWER SYSTEM OR TO AN ON-SITE WASTEWATER SYSTEM WHICH HAS BEEN APPROVED AND PERMITTED BY HAYS COUNTY DEVELOPMENT SERVICES. NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL HAYS COUNTY DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MET.

ERIC VAN GAASBEEK, R.S., C.F.M.  
HAYS COUNTY FLOODPLAIN ADMINISTRATOR

MARCUS PACHECO, DIRECTOR  
HAYS COUNTY DEVELOPMENT SERVICES

CITY OF SAN MARCOS:  
CERTIFICATE OF APPROVAL:

APPROVED AND AUTHORIZED TO BE RECORDED ON THE \_\_\_\_ DAY OF

\_\_\_\_\_, 20\_\_\_\_\_ BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF SAN MARCOS.

C.I.P. ENGINEERING DATE

DIRECTOR DATE  
PLANNING AND DEVELOPMENT SERVICES

RECORDING SECRETARY DATE

CHAIRMAN DATE  
PLANNING AND ZONING COMMISSION

WATER UTILITY PROVIDER:

MAXWELL WSC

WASTEWATER UTILITY PROVIDER:

AQUA TEXAS INC.

BY: \_\_\_\_\_

BY: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_


STATE OF TEXAS:  
COUNTY OF HAYS:

I, ELAINE H. CARDENAS, COUNTY CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE \_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_, AT \_\_\_\_\_ O’CLOCK \_\_\_\_ M., IN THE PLAT RECORDS OF HAYS COUNTY, TEXAS, IN INSTRUMENT NO. \_\_\_\_\_.

WITNESS MY HAND AND SEAL OF OFFICE THIS THE \_\_\_\_ DAY OF \_\_\_\_\_A.D., 20\_\_\_\_\_.

ELAINE H. CARDENAS  
COUNTY CLERK

CoSM #PC-23-03



Professional Land Surveying, Inc.  
Surveying and Mapping

3500 McCall Lane  
Austin, Texas 78744  
512-443-1724  
Firm No. 10124500

PROJECT NO.:  
1434-001  
DRAWING NO.:  
1434-001-  
PL S2P2 AMEND  
PLOT DATE:  
03/02/2023  
PLOT SCALE:  
1"=100'  
DRAWN BY:  
RGH

SHEET  
02 OF 02

# PRELIMINARY SUBDIVISION PLAT, REPLAT OR CONCEPT PLAT APPLICATION

Updated: September, 2020



## CONTACT INFORMATION

<b>Applicant's Name</b>	Chelsea Osbourn	<b>Property Owner</b>	Clayton Properties Group
<b>Company</b>	BGE, Inc.	<b>Company</b>	
<b>Applicant's Mailing Address</b>	1701 Directors Blvd, Suite 1000 Austin, TX 78744	<b>Owner's Mailing Address</b>	6720 Vaught Ranch Road, Suite 200, Austin, TX 78730
<b>Applicant's Phone #</b>	210-581-3621	<b>Owner's Phone #</b>	512-320-8833
<b>Applicant's Email</b>	cosbourn@bgeinc.com	<b>Owner's Email</b>	bradb@brohnhomes.com

## PROPERTY INFORMATION

**Proposed Subdivision Name:** Hymeadow 2-2 Amending Plat

**Subject Property Address or General Location:** West of SH 21/FM 1966 Intersection

**Acres:** 2.468 **Tax ID #: R** 167422

**Located in:** ☐ City Limits ☒ Extraterritorial Jurisdiction (County) Hays

## DESCRIPTION OF REQUEST

**Type of Plat:** ☐ Preliminary Subdivision Plat ☒ Replat ☐ Concept Plat

**Proposed Number of Lots:** 4 **Proposed Land Use:** Residential

## AUTHORIZATION

*I certify that the information on this application is complete and accurate. I understand the fees and the process for this application. I understand my responsibility, as the applicant, to be present at meetings regarding this request.*

**Filing Fee \$1,057 plus \$50 per acre** **Technology Fee \$13** **MAXIMUM COST \$2,513\***

*\*Replats that are not Administratively approved – Maximum Cost \$3,013*

**Submittal of this digital Application shall constitute as acknowledgement and authorization to process this request.**

**APPLY ONLINE – [WWW.MYGOVERNMENTONLINE.ORG/](http://WWW.MYGOVERNMENTONLINE.ORG/)**

## SUBDIVISION IMPROVEMENT AGREEMENT ACKNOWLEDGEMENT

I understand, whenever public improvements to serve the development are deferred until after Final Subdivision or Development Plat approval, the property owner shall enter into a Subdivision Improvement Agreement by which the owner covenants to complete all required public improvements no later than two (2) years following the date upon which the Final Plat is approved.

- ☒ All required public improvements will be completed prior to approval of the Final Subdivision or Development Plat
- ☐ I wish to defer installation of public improvements until after approval of the Final Subdivision or Development Plat and have attached a Subdivision Improvement Agreement to be considered along with this Plat application
- ☐ The attached Minor / Amending / Preliminary Plat Application does not require a Subdivision Improvement Agreement

Signature of Applicant: Chelsea Olson Date: 12/06/2022

## NOTICE OF COMPLETENESS DETERMINATION & STATUTORY REVIEW TIMEFRAMES

I understand that the City of San Marcos requires online submittal of all applications through the Customer Portal at [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and that the Responsible Official will review this application for completeness within 10 business days of online submittal. I understand that this application is not considered "filed" until all required documentation is received and reviewed for completeness. *Upon determination of completeness the City will send written correspondence stating that the application has been filed* and will provide a date, in accordance with the Texas Local Government Code, when the Planning and Zoning Commission will meet to hear the request.

☒ By checking this box I am requesting cursory review of this application prior to determination that the application is complete and filed. Cursory review comments shall not constitute a determination of completeness.

I also understand that as the applicant I may request, in writing, an extension to the statutory review timeframes.

Signature of Applicant: Chelsea Olson Date: 12/06/2022

## RECORDATION REQUIREMENTS\*\*\*

**The following are required for recordation, following approval of a Plat application:**

- ☐ Two (2) mylars of the subdivision plat (*Comal Co. requires White 20# Bond Paper*)
- ☐ Recording Fee: \$\_\_\_\_\_
- ☐ Tax Certificate, printed within 30 days of recordation date (paid prior to January 31<sup>st</sup> of current year)

**Other possible recording requirements:**

- ☐ If public improvements were deferred, Subdivision Improvement Agreement
- ☐ Subdivision Improvement Agreement recording fee: \$\_\_\_\_\_
- ☐ Other legal documents referenced on the plat (i.e. easement dedication by separate instrument, HOA documents)
- ☐ Other recording fee: \$\_\_\_\_\_

\*\*\*Recordation fees, mylars, and other requirements are not due at the time of submittal. Fees will depend on the number of pages needed for recordation and the County in which they are recorded. The total will be calculated upon approval.





# **PC-23-03**

## **Hymeadow Replat**

PC-23-03 (Hymeadow Replat) Hold a public hearing and consider a request by Chelsea Osbourn, on behalf of Clayton Properties Group, for approval of a Replat of the Hymeadow Subdivision, Section Two, Block H, Lot 6, creating Block H, Lots 6A and 6B through 6E, consisting of approximately 2.468 acres generally located at the northeast corner of the Alterra Way and Jade Street intersection. (W. Rugeley)



# Property Information

- Nearly 2.5 acres
- Creating 5 lots out of 1

PC-23-03

Hymeadow Replat - Alterra Way & Jade St

Aerial View



- Subject Property
- Parcel
- ETJ

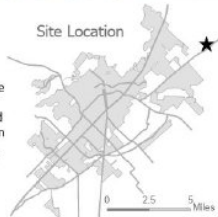


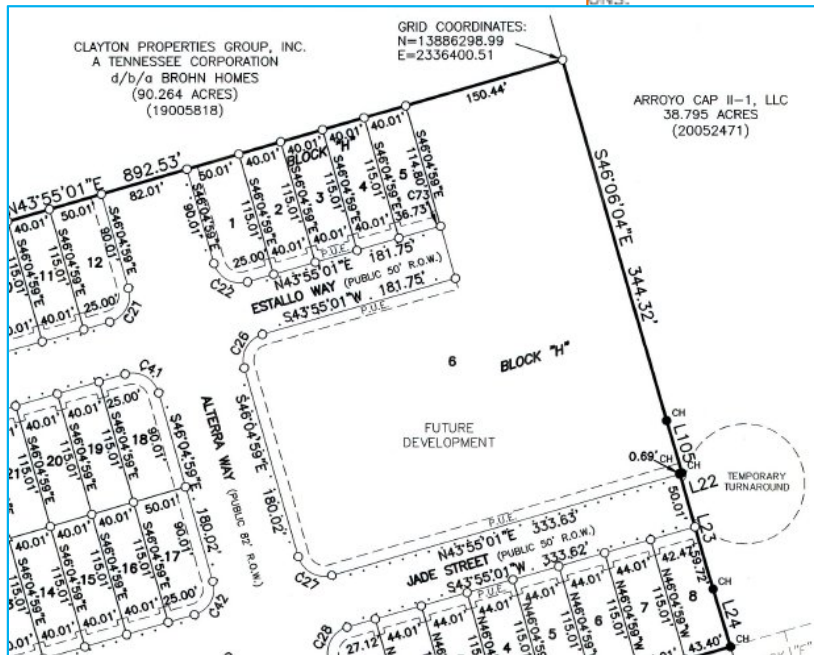
0 150 300 600 Feet

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

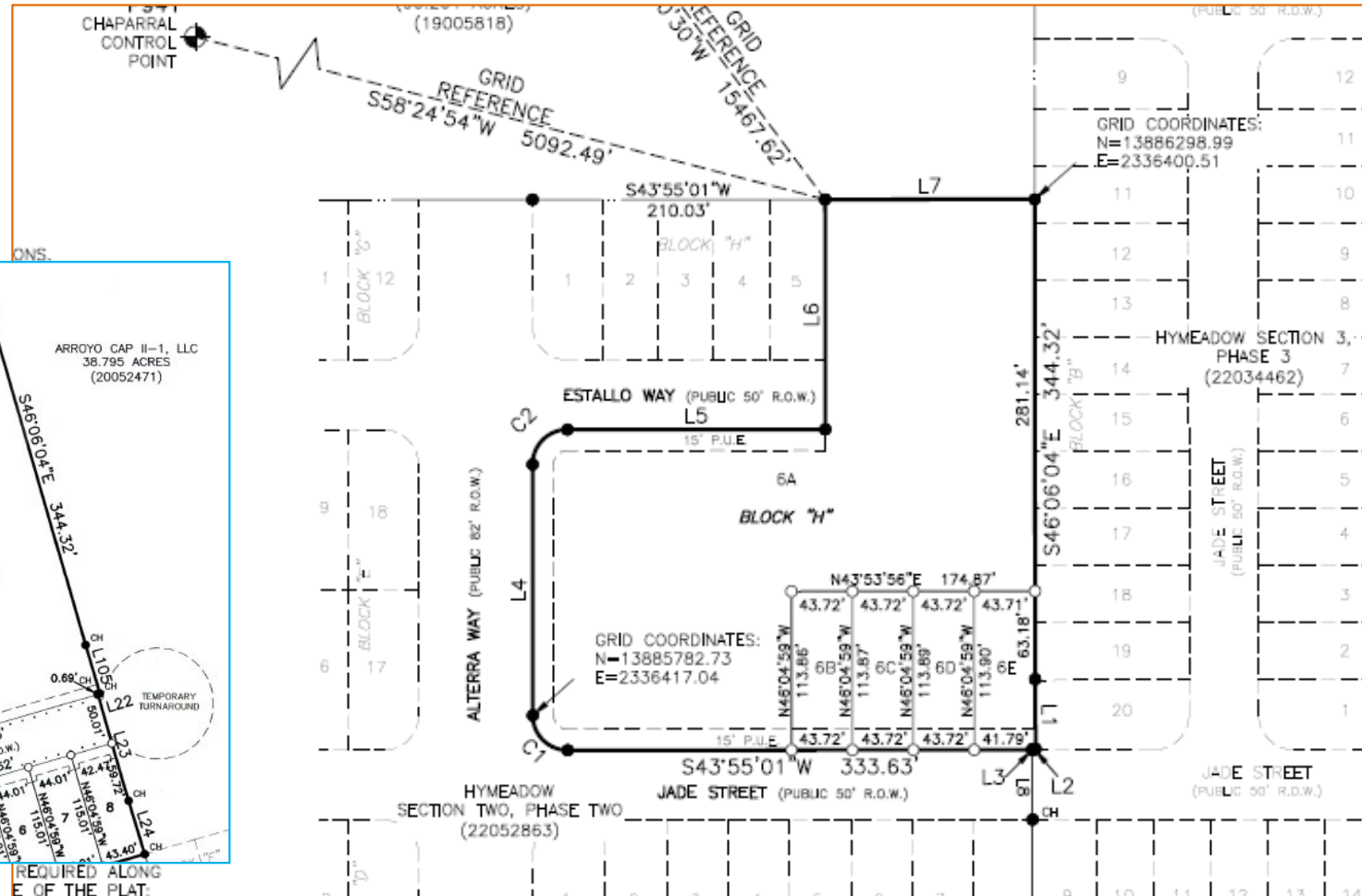
Date: 4/12/2023

**SAN MARCOS** Planning and Development Services





Existing Configuration



Proposed Configuration

[sanmarcostx.gov](http://sanmarcostx.gov)



# Recommendation

- Staff recommends **approval** of ZC-23-03, as presented.



## Legislation Text

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**File #:** ID#23-302, **Version:** 1

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**AGENDA CAPTION:**

Receive a presentation from staff regarding the Cotton Gateway Qualified Watershed Protection Plan Phase1, permit #2022-42485.

**Meeting date:** May 9, 2023

**Department:** Engineering/CIP

**Amount & Source of Funding**

**Funds Required:** N/A

**Account Number:** N/A

**Funds Available:** N/A

**Account Name:** N/A

**Fiscal Note:**

**Prior Council Action:** N/A

**City Council Strategic Initiative:** [Please select from the dropdown menu below]

N/A

Choose an item.

Choose an item.

**Comprehensive Plan Element (s):** [Please select the Plan element(s) and Goal # from dropdown menu below]

☐ Economic Development - Choose an item.

☐ Environment & Resource Protection - Choose an item.

☐ Land Use - Choose an item.

☐ Neighborhoods & Housing - Choose an item.

☐ Parks, Public Spaces & Facilities - Choose an item.

☐ Transportation - Choose an item.

☐ Core Services

☒ Not Applicable

**Master Plan:** *[Please select the corresponding Master Plan from the dropdown menu below (if applicable)]*

Choose an item.

**Background Information:**

The proposed development requires a Qualified Watershed Protection Plan Phase 1 due to the project being greater than 40 acres and reclaiming water quality and buffer zone. Code requires an informative staff presentation to Planning and Zoning Commission prior to administrative approval.

**Council Committee, Board/Commission Action:**

Click or tap here to enter text.

**Alternatives:**

Click or tap here to enter text.

**Recommendation:**

This item is a presentation only. No action is necessary.



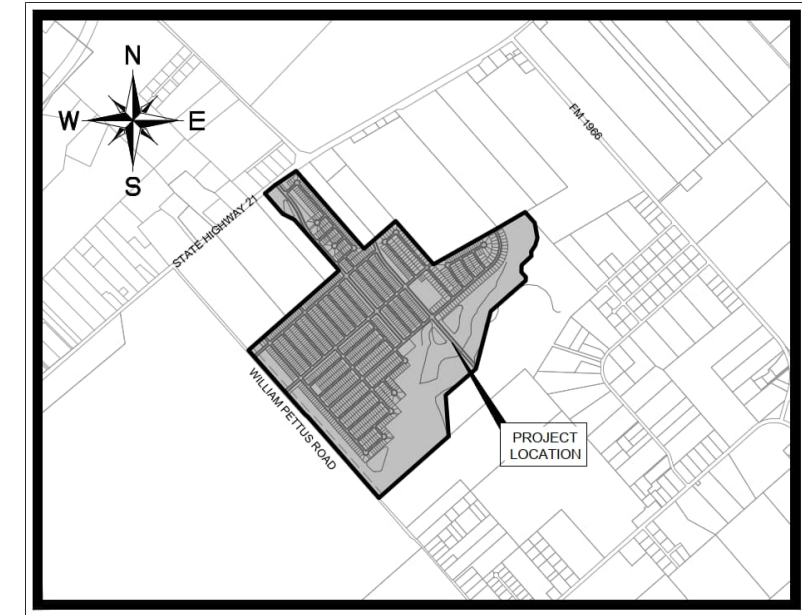
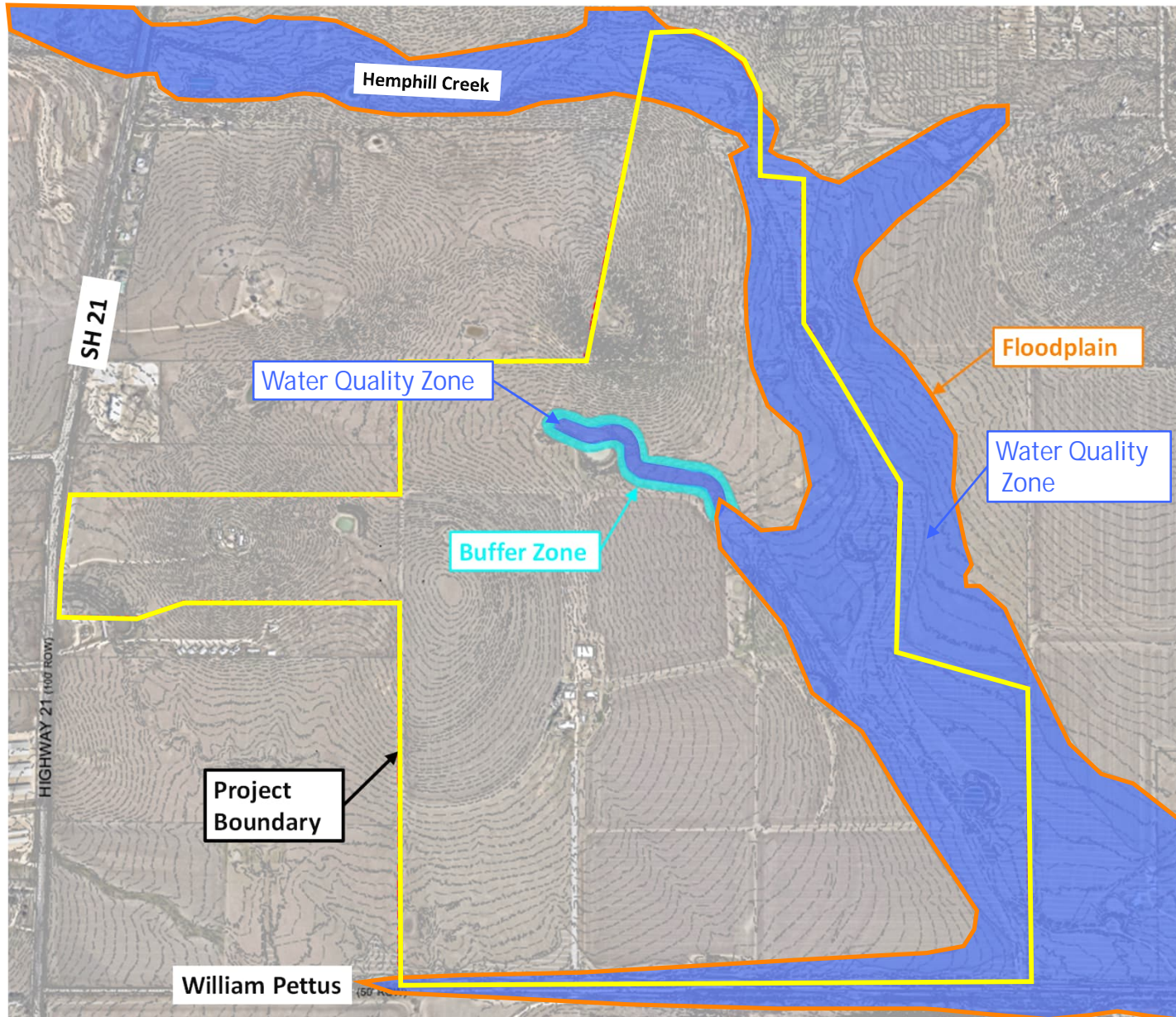


# **Qualified Watershed Protection Plan Phase 1 for Cotton Gateway (2022-42485)**

- **Qualified WPP1 due to project being greater than 40 acres and reclaiming Water Quality/Buffer Zone.**
- **Code requires an informative staff presentation to Planning and Zoning Commission prior to administrative approval.**



# Qualified Watershed Protection Plan Phase 1 for Cotton Gateway (2022-42485)



VICINITY MAP

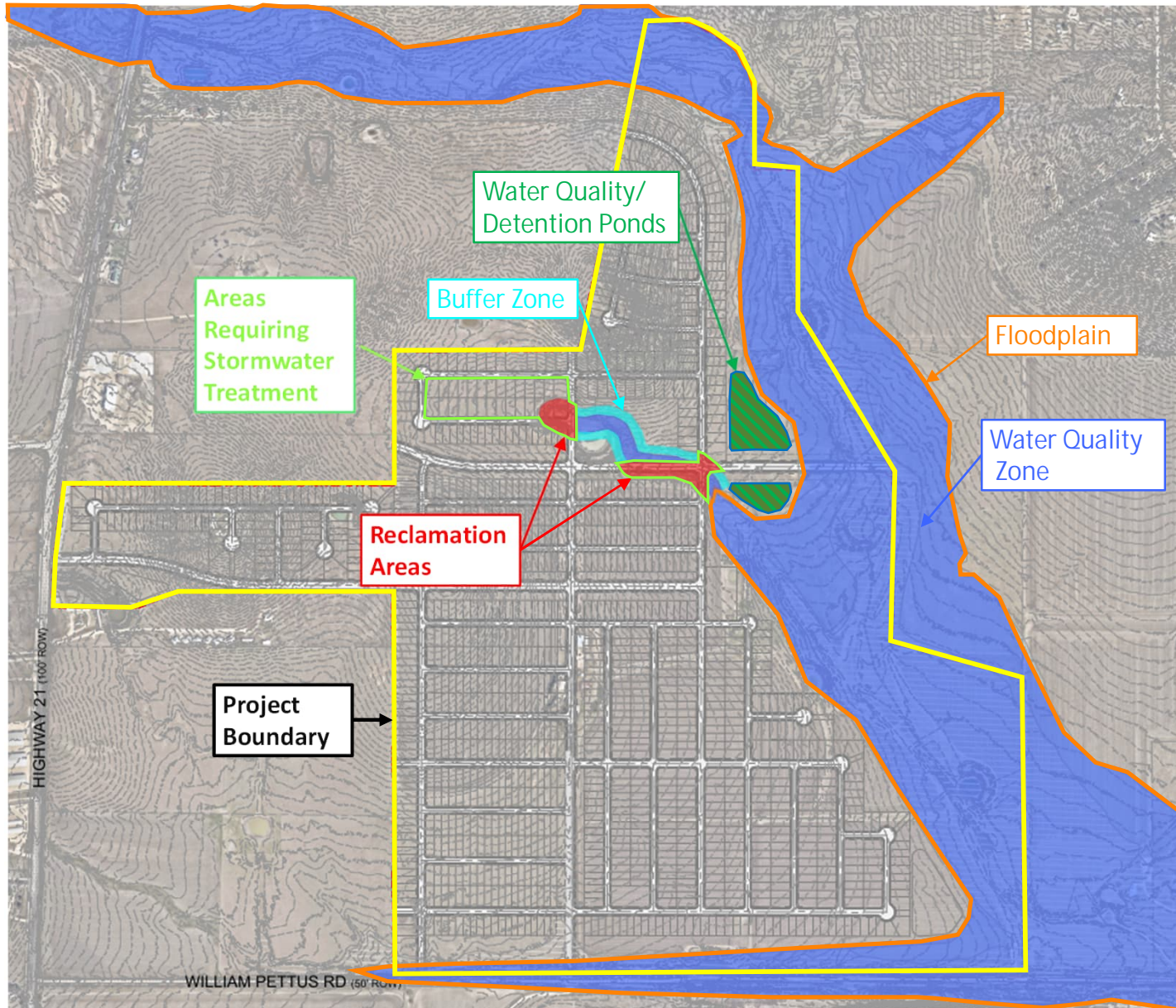
## Predeveloped Conditions

- Site Size: +/- 252 acres
- Site includes both water quality/buffer zone and floodplain





# Qualified Watershed Protection Plan Phase 1 for Cotton Gateway (2022-42485)



## Proposed Conditions

- Project reclaims water quality/buffer zone
- Mitigation for impacts to water quality/buffer zone include:
  - Stormwater treatment requirement of 70% removal of increased TSS for highlighted areas
- Design plans/modeling reviewed for compliance with WPP2



## Legislation Text

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**File #:** ID#23-151, **Version:** 1

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**AGENDA CAPTION:**

Receive a presentation and consider a recommendation on the "Vision SMTX Comprehensive Plan" and the Preferred Scenario Map.

**Meeting date:** May 9, 2023

**Department:** Planning & Development Services

**Amount & Source of Funding**

**Funds Required:** n/a

**Account Number:** n/a

**Funds Available:** n/a

**Account Name:** n/a

**Fiscal Note:**

**Prior Council Action:** In 2020, City Council provided direction to rewrite the Comprehensive Plan. Council approved a contract with MIG, Inc. for the Vision SMTX Comprehensive Plan and Downtown Area Plan for the amount of \$341,479.66.

**City Council Strategic Initiative:**

Quality of Life & Sense of Place

Mobility & Connectivity

Economic Vitality

**Comprehensive Plan Element (s):**

- ☒ Economic Development - Choose an item.
- ☒ Environment & Resource Protection - Choose an item.
- ☒ Land Use - Choose an item.
- ☒ Neighborhoods & Housing - Choose an item.
- ☒ Parks, Public Spaces & Facilities - Choose an item.
- ☒ Transportation - Choose an item.
- ☒ Core Services
- ☐ Not Applicable

**Master Plan:**

Vision San Marcos - A River Runs Through Us

**Background Information:**

The City Council provided direction to rewrite the City's current comprehensive plan, Vision San Marcos, originally adopted in 2013. The Vision SMTX Comprehensive Plan kicked off in 2020 and is a vision and policy document intended to guide the growth and evolution of the City for the next 20-30 years. The Draft Plan includes the community's vision for topics such as housing, transportation, arts and culture, land use, economic development, parks, community character, and preferred growth and the types of places created for our community.

The Plan development included significant engagement from the public, stakeholders, and organizations in San Marcos throughout the planning process. The project has received over 6,100 community comments throughout the plan development and represent over 100 meetings and engagement events. The Comprehensive Plan is an instrumental document in defining and achieving the community's vision for the future. As a growing community, the plans is a tool to be used by city leaders, businesses, organizations, and residents for the next 20-30 years and will help shape future programs, projects, policies, regulations, and provide a foundational document that can be used to seek funding and grants for initiatives.

Both the *Vision SMTX Comprehensive Plan* and associated Appendix and the *Alternative Draft* and associated Appendix (see action summary below) can be downloaded at the following link:

- [www.visionsmtx.com/comprehensive-plan/](http://www.visionsmtx.com/comprehensive-plan/) <<http://www.visionsmtx.com/comprehensive-plan/>>

A paper copy of the Plan can be requested by emailing [planninginfo@sanmarcostx.gov](mailto:planninginfo@sanmarcostx.gov)

**Council Committee, Board/Commission Action:**

- The Commission received an informational presentation on the Comprehensive Plan at their February 14, 2023 meeting.
- On February 28, 2023, the Commission held a Public Hearing and voted to postpone action on the plan to the April 11, 2023 meeting.
  - During the meeting, a written letter was provided to the Commission with four specific revisions. In addition, a written request was provided requesting a revision to the Preferred Growth



Scenario Map. These letters are included in the packet. Staff has provided an analysis in the Staff Report of each of the proposed revisions in case the Commission would like to make these amendments to the Plan.

- At the April 11, 2023 Commission meeting, the Commission voted to postpone the action on the plan to the May 9, 2023 Meeting. The Commission directed staff to prepare an Alternative Draft Comprehensive Plan using the redlines provided by the subcommittee consisting of Chair Garber, Commissioners Meeks, Commissioner Agnew, Commissioner Case, and Mayor Hughson.
- Staff subsequently met with Mayor Hughson and Chair Garber to discuss staff comments and questions related to the Alternative Draft.

**Alternatives:**

n/a

**Recommendation:**

Staff recommends **approval** of the Alternative Draft with the **14 amendments** referenced in the Staff Report.

**Six** affirmative votes are required to recommend approval of this item.

# Vision SMTX Comprehensive Plan



## Summary

<b>Request:</b>	Consider a recommendation on the “Vision SMTX Comprehensive Plan” and the Preferred Growth Scenario Map.
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## Notification

<b>Application:</b>	January 25, 2023	<b>Neighborhood Presentation:</b>	February 7, 2023
<b>Published:</b>	February 12, 2023	<b>Response:</b>	10 written comments included in the packet.

## Staff Recommendation

<b>X</b>	<b>Approval as Presented</b>	Alternate Approval	Denial
Staff recommends <b>approval</b> of the Alternative Draft with the <b>14 amendments</b> referenced in the Staff Report.			
<b>Six</b> affirmative votes are required to recommend approval of this item.			
<b>Staff:</b> Andrea Villalobos, AICP, CNU-A		<b>Title:</b> Assistant Director of Planning	<b>Date:</b> May 2, 2023

## Alternative Draft

At the April 11, 2023 Commission meeting, the Commission voted to postpone the action on the plan to the May 9, 2023 meeting. The Commission directed staff to prepare an Alternative Draft Comprehensive Plan using the redlines provided by the subcommittee consisting of Chair Garber, Commissioners Meeks, Commissioner Agnew, Commissioner Case, and Mayor Hughson. ***Please reference the Alternative Draft Summary Table document for a complete list of all changes between Vision SMTX and the Alternative Draft.***

Staff met with the Mayor and Chair Garber to discuss staff comments and questions related to the Alternative Draft. Following those discussions, staff updated the Alternative Draft and has the following 10 recommendations. These are included in the *Alternative Draft Summary Table* document in the Commission packet but are duplicated here for clarity.

If the Commission recommends approval of the Alternative Draft, staff recommends the following amendments.

#	Vision SMTX	Pg	Alternative Plan	Pg	Staff Comments
73.	Goal LU-2: Ensure all residents have safe and convenient access to nearby basic amenities, goods, and services	61	Goal LU-2: <u>Ensure all New developments should provide</u> <del>residents have</del> safe and convenient access to nearby basic amenities, goods, and services	53	Staff recommends the below revised text to address the subcommittee’s concerns while also balancing the input received by the community.  <b>Goal LU-2: <u>Ensure</u> Encourage land use patterns that allow</b> all residents <u>the opportunity to</u> have safe and convenient access to nearby basic amenities, goods, and services

# Vision SMTX Comprehensive Plan



104.	<ul style="list-style-type: none"> <li>• Neighborhood Low</li> <li>• Neighborhood Medium</li> <li>• Neighborhood High</li> <li>• Neighborhood Transition</li> <li>• Mixed Use Low</li> <li>• Mixed Use Medium</li> <li>• Commercial/Employment Low</li> <li>• Commercial/Employment Medium</li> <li>• Conserve/Reserve</li> </ul>	80	<p><u>Provide a short description of each place type here:</u></p> <ul style="list-style-type: none"> <li>• Neighborhood Low</li> <li>• Neighborhood Medium</li> <li>• Neighborhood High</li> <li>• Neighborhood Transition</li> <li>• Mixed Use Low</li> <li>• Mixed Use Medium</li> <li>• Commercial/Employment Low</li> <li>• Commercial/Employment Medium</li> <li>• Conserve/Reserve <u>(rename)</u></li> </ul> <p><u>Note: Mixed Use High and Commercial/Employment High Place Types are not included because the high-level land use and intensity are not appropriate for San Marcos.</u></p>	72	<p>Staff recommends the following text to address the subcommittee direction. If “Conserve/Reserve” is renamed, the name shall change in all instances throughout the plan.</p> <ul style="list-style-type: none"> <li>• <b>Neighborhood Low</b> – <u>primarily low density single-family neighborhoods.</u></li> <li>• <b>Neighborhood Medium</b> – <u>a mix of low to medium density residential housing types.</u></li> <li>• <b>Neighborhood High</b> – <u>primarily high density housing types with some commercial.</u></li> <li>• <b>Neighborhood Transition</b> – <u>small scale commercial, mixed use, and some diverse housing types.</u></li> <li>• <b>Mixed Use Low</b> – <u>small scale mixed use.</u></li> <li>• <b>Mixed Use Medium</b> – <u>higher density, larger scale mixed use.</u></li> <li>• <b>Commercial/Employment Low</b> – <u>auto-oriented, low density industrial, retail, and office.</u></li> <li>• <b>Commercial/Employment Medium</b> – <u>office, commercial, and campus (medical, education, etc.) uses.</u></li> <li>• <del>Conserve/Reserve</del> <b>Conservation/Cluster</b> – <u>a place holder for potential clustered development and/or protection of environmental features.</u></li> </ul>
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# Vision SMTX Comprehensive Plan



107.	<p><b>Existing and Proposed Models:</b> The next component of the Place Types is a graphic depiction of the types of places that exist today in San Marcos and a similar illustration of the aspirational expression of the Place Type.</p> <p>...</p> <p><b>Place Type Highlights:</b> The Existing and Proposed models are followed with an annotated version of the proposed Place Type highlighting key features and relationships.</p> <p>...</p>	81	<p><u><b>MOVE ALL PLACE TYPE GRAPHICS TO THE APPENDIX.</b></u></p> <p><b>Existing and Proposed Models:</b> <del>The next component of the Place Types</del><u>Located within the Appendix</u> is a graphic depiction of the types of places that exist today in San Marcos and a similar illustration of the aspirational expression of the Place Type</p> <p>....</p> <p><b>Place Type Highlights:</b> <u>Located within the Appendix,</u> <del>t</del>The Existing and Proposed models are followed with an annotated version of the proposed Place Type highlighting key features and relationships.</p> <p>...</p>	74	<p>All Place Type graphics were moved to the Appendix in the Alternate Draft. To address the subcommittee redlines, staff added text to the paragraphs referencing the appendix.</p> <p>Staff recommends keeping the place type graphics in the Plan rather than the Appendix. The visuals are a useful tool when talking to the community about the envisioned place type. To address subcommittee concerns, staff recommends the following:</p> <ul style="list-style-type: none"> <li>- Revise “Proposed” to “New” in this section and within the graphic labels to clarify that they graphics are aspirational, illustrative, and do not represent requirements or city-initiated changes to properties.</li> </ul> <p>Revise the Neighborhood Low place type graphics to create examples of existing and new places in accordance with subcommittee discussions.</p>
113	<p><b>Overlay/Characteristics/Considerations:</b> Clustered and Low Impact Development with overall development limited to 50% of land area</p>	87	<p><b>Overlay/Characteristics/Considerations:</b> Clustered and Low Impact Development with overall development limited to 50% of land area <u>[Change to whatever is in the LDC now]</u></p>	77	<p>Staff recommends changing the language to as follows:</p> <p><u>“Clustered and Low Impact Development with impervious cover limited to 0-50% of land area depending on proximity to protected environmental features and the Edwards Aquifer.”</u></p>
116	<p><b>Land Use:</b> Primarily attached single-family residential development, ADUs, low to medium- scale multifamily residential with some mixed use commercial</p>	88	<p><b>Land Use:</b> Primarily attached single-family residential development, <del>ADUs,</del> low to medium- scale multifamily residential, with some mixed use commercial</p>	78	<p>Staff recommends revising the text to state “perhaps ADUs” for consistency with other sections of the plan.</p>
119	<p><b>Neighborhood Medium Primary Land Uses:</b></p> <ul style="list-style-type: none"> <li>• Attached Single-Family Residential</li> <li>• Accessory Dwelling Units</li> <li>• Low to Medium-Scale Multifamily Residential</li> </ul>	91	<p><b>Neighborhood Medium Primary Land Uses:</b></p> <ul style="list-style-type: none"> <li>• Attached Single-Family Residential</li> <li>• <del>Accessory Dwelling Units</del></li> <li>• Low to Medium-Scale Multifamily Residential</li> </ul>	79	<p>Staff recommends moving “Accessory Dwelling Units” to the Secondary Land Uses rather than removing it from the Place Type.</p>



# Vision SMTX Comprehensive Plan



133	<b>Mixed Use Low Mobility Characteristics</b> <ul style="list-style-type: none"> <li>Sidewalks along, within and connecting to ???</li> <li>Bike facilities typically connecting and parallel to ???</li> </ul>	103	<b>Mixed Use Low Mobility Characteristics</b> <ul style="list-style-type: none"> <li>Sidewalks along, within and connecting to ???</li> <li>Bike facilities typically connecting and parallel to ???</li> </ul>	85	Staff recommends adding “the area” in place of the question marks.
147	<b>CONSERVE/RESERVE</b> ... The Conserve/Reserve place type was originally developed to identify areas where development would be discouraged over the life of the Comprehensive Plan.	116	<del>CONSERVE/RESERVE</del> <b>NEW NAME</b> ... The <b>NEW NAME</b> <del>Conserve/Reserve</del> place type was originally developed to identify areas where development would be discouraged over the life of the Comprehensive Plan.	92	Staff recommends “Conservation/Cluster”
168	<b>Northeast Highway 110</b> is an undeveloped area along FM-110 where the community expressed a strong desire for new mixed use development to serve potential new residential developments. Due to the environmental assets and constraints pervasive in and near this location, the intensity of development is expected to be low to medium. Place types comprising the Northeast Highway 110 Community Center include Mixed Use Low and Neighborhood Medium.	126	<b>Northeast Highway 110</b> is an undeveloped developing area along FM-110, including Whisper. where the community expressed a strong desire for new mixed use development to serve potential new residential developments. Due to the environmental assets and constraints pervasive in and near this location, the intensity of development is expected to will be low to medium. Place Types comprising the Northeast Highway 110 Community Center include Mixed Use Low and Neighborhood Medium.	98	Staff recommends that “Whisper” be revised to state “Riverbend / Riverbridge Ranch” because Whisper is not in this area. In addition, staff recommends not adding the highlighted typo.

# Vision SMTX Comprehensive Plan



187	Thus, seven Area Plans are included in the Vision SMTX Comprehensive Plan planning process. While two of those Area Plans focus on higher intensity mixed use regional centers, the remaining five focus on neighborhoods around San Marcos. The Neighborhood Character Studies promised in the Vision San Marcos are included as a major component of the five Area Plans focusing on neighborhoods.	134	<del>Thus, s</del> Seven Area Plans are included in the Vision SMTX Comprehensive Plan planning process. While two of those Area Plans focus on higher intensity mixed use regional centers <u>of Downtown and East Village</u> , the remaining five focus on neighborhoods around San Marcos. The Neighborhood Character Studies promised in the Vision San Marcos are included as a major component of the five Area Plans focusing on neighborhoods. <u>These Area Plans will have the same power and effect as Neighborhood Character Studies noted in the statement above from the Vision San Marcos 2013 Comprehensive Plan.</u>	104	<ol style="list-style-type: none"> <li>1) Staff does not recommend the addition of the last sentence. The Development Code provides the authority and effect, not the Comprehensive Plan.</li> <li>2) References to the 2013 plan, which indicated a person would need to reference that plan, have been primarily removed.</li> </ol>
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# Vision SMTX Comprehensive Plan



## Additional Submitted Amendments

During the February 28, Planning and Zoning Commission meeting, a written letter was provided to the Commission with 4 specific revisions. In addition, a written request was provided requesting a revision to the Preferred Growth Scenario Map. These letters are included in the packet.

Staff has provided an analysis of the proposed revisions below in case the Commission would like to make these amendments to the Plan. The text in [blue](#) indicates the revised text.

Item #	Vision SMTX Page #	Alternative Draft Page #	Suggested Revision	Type of Change	Staff Comments
234.	62	54	<b>LU-4.4:</b> Adopt standards for impervious cover limits for all of the city and extra-territorial jurisdiction to minimize flooding, <a href="#">protect water quality, and preserve recharge of groundwater. As part of this policy development, consider using net site area in lieu of gross site area to take into account areas of a site that are undevelopable and adopt lower limits for areas that are environmentally sensitive.</a>	Notable	Staff does not recommend the adoption of the second sentence without prior evaluation of the impacts. It is recommended that this is evaluated as part of the Development Code update. Staff's recommendation is as follows:  <b>LU-4.4:</b> Adopt standards for impervious cover limits for all of the city and extra-territorial jurisdiction to minimize flooding, <a href="#">protect water quality, and preserve recharge of groundwater.</a>
235.	53	45	ENV-1.5: Establish riparian buffer zones <a href="#">and enhanced setbacks</a> for resource protection of rivers, creeks, retention ponds, and flood mitigation areas.	Notable	Staff has no issue with the proposed language.
236.	54 (proposed)	46 (proposed)	<a href="#">ENV-3.#: Adopt a dark skies ordinance to mitigate harassment of wildlife and preserve rural character.</a>	Notable	Staff has no issue with the proposed language.
237.	69 (proposed)	61 (proposed)	<a href="#">TR-1.6: Eliminate the extension and expansion of W Centerpoint Rd. (i.e., the "western loop") over and through the Edwards Aquifer Recharge and Contributing Zones.</a>	Notable	Staff does not recommend the adoption of this revision and recommends evaluating this as part of the Transportation Master Plan update.
238.	123	95	Change the Place Type from Neighborhood-Low to Mixed Use-Low on the highlighted parcels along Post Road.	Notable	Staff has no issues with the proposed change. Post Road is a major corridor and could warrant some mixed use along the roadway to support existing residences. In addition, the highlighted parcels are between two existing Mixed Use-Low Place Type designated parcels on the Preferred Growth Scenario Map.

# Vision SMTX Comprehensive Plan



The following Criteria are from Chapter 2, Division 2 of the San Marcos Development Code.

Evaluation			Criteria for Approval (Sec.2.4.2.4)
Consistent	Inconsistent	Neutral	
<u>X</u>			Whether the proposed amendment is consistent with other policies of the Comprehensive Plan;  <b><i>The Vision SMTX Comprehensive Plan provides updated vision, goals, and policies for the community over the next 20 years.</i></b>
		<u>N/A</u>	Whether the proposed amendment is consistent with any adopted small area plan or neighborhood character study for the area;  <b><i>Studies are in-progress as part of this Vision SMTX Comprehensive Plan, but are not complete at the time of the request.</i></b>
<u>X</u>			Whether the proposed amendment promotes the orderly and efficient growth and development of the community and furthers the public health, safety and general welfare of the City;  <b><i>The Vision SMTX Comprehensive Plan includes an updated Preferred Growth Scenario Map which will replace the existing Preferred Scenario Map to provide better direction for land uses as well as built form, mobility, parks, and amenities by designating different Place Types.</i></b>
<u>X</u>			Whether the proposed amendment corrects and error or meets the challenge of some changing condition, trend, or fact;  <b><i>San Marcos, like all cities, is a living organism that is constantly changing and growing either through physical growth, economic growth, or societal growth. The Vision SMTX Comprehensive Plan is a critical tool used to guide that growth appropriately.</i></b>
<u>X</u>			Whether the proposed amendment constitutes a substantial benefit to the City as a whole and is not solely for the good or benefit of a particular landowner or owners at a particular point in time;  <b><i>The Vision SMTX Comprehensive Plan process was developed through over 100 meetings and events, hundreds of participants, and includes over 4,000 community comments. The Plan as proposed creates a vision for the future of San Marcos that is inclusive of all backgrounds, perspectives, and ways of life.</i></b>
<u>X</u>			Whether the proposed amendment will impact: a) adjacent properties; b) existing or future land use patterns; c) existing or



	<h1 style="text-align: center;">Vision SMTX Comprehensive Plan</h1>



			<p>planned public services and facilities; d) existing or planned transportation networks or greenways; e) the natural environment, including quality and quantity of water and other natural resources, flooding, and wildlife management</p> <p><b><i>The Vision SMTX Comprehensive Plan creates updated vision, goals, and policies which:</i></b></p> <ul style="list-style-type: none"> <li>• <b><i>Provide transitions and orderly development of land uses;</i></b></li> <li>• <b><i>Allocate future land use patterns to accommodate San Marcos growth over the next 20 years while preserving natural spaces and vacant farmland;</i></b></li> <li>• <b><i>Considers future public services and facilities to accommodate current and future resident needs;</i></b></li> <li>• <b><i>Prioritizes multimodal transportation networks and greenways throughout various Place Types and policies;</i></b></li> <li>• <b><i>Furthers and enhances the quality and preservation of natural and environmental resources by strategically accommodating growth.</i></b></li> </ul>
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## Vision SMTX & Alternative Plan – Summary Table

Stylistic Changes: Typos, preferences in grammar, and non-substantive alternative language.

Notable Changes: Changes that are substantive.

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
1.	N/A	All	<u>ADD DATE TO COVER PAGE &amp; FOOTER</u>	All	Stylistic	
2.	Acknowledgements ...	N/A	<u>All lists of people should be alphabetized by last name, although list can be shown first name first. PhD should be a “, Dr.” at the end of their name.</u>	4-7	Stylistic	Acknowledgements section has been re-arranged accordingly and some titles have been updated.
3.	Photos.		<u>All photos should have captions. Can be generic “resident buying fresh produce at the Farmer’s Market” or just “Farmer’s Market” but something like the mermaid statue at the Price Center should have “Price Center, 222 W San Antonio St.”</u>	All	Notable	Captions to photos have been added throughout plan.
4.	N/A	N/A	<u>Provide a definition for equitable growth.</u>	125	Notable	Staff provided the following definition in the Alternative Draft Glossary of Terms. <b>Equitable Growth:</b> An approach to public and private investment that attempts to maximize community benefits for all residents and to distribute the costs and benefits (physical, financial, environmental, social, and cultural) of growth and change in San Marcos.
5.	<p>The Vision SMTX Comprehensive Plan is a vision and policy document intended to guide the growth and evolution of the City for the next 20-30 years. It is based on community input and feedback and includes the community’s vision for a variety of physical and programmatic areas that influence how San Marcos evolves and grows in the years ahead.</p> <p>The Plan’s recommendations are informed by over two years of community conversations. The Plan’s success should be attributed to the unwavering dedication of those residents that participated in the planning process.</p>	11	<p>The Vision SMTX Comprehensive Plan is a <u>visionary vision and</u>-policy document intended to guide the growth <u>and transformation and evolution</u> of the City for the next 20-30 years. It is based on community input and feedback and includes the community’s vision for a variety of <u>physical and programmatic</u> areas that influence how San Marcos <u>evolves and</u> grows in the years ahead.</p> <p><u>Two years of community conversations informed the Plan’s recommendations, and the success of the plan should be attributed to the unwavering dedication of those residents that participated in the planning process. The Plan’s recommendations are informed by over two years of community conversations. The Plan’s success should be attributed to the unwavering dedication of those residents that participated in the planning process.</u></p>	11	Stylistic	

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
6.	"The policies, projects, and programs in this Plan aim to help shape the future of the places where San Marcans live, work, shop, and play by preserving what's important to the community and guiding investments that help make San Marcos a vibrant and unique city for all."	12	"The policies, projects, and programs in this Plan <del>aim to help</del> <u>will</u> shape the future of the places where <del>San Marcans</del> <u>residents</u> live, work, shop, and play by preserving what's important to the community and guiding investments that help make San Marcos a vibrant and unique city for all."	12	Stylistic	
7.	The western half of San Marcos contains the original Downtown core of the City, the traditional activity and population center of the community.	13	<u>The eastern half of San Marcos currently includes major existing and new residential neighborhoods as well as schools and major employers. However, there are many large tracts of land in this area which are rapidly developing.</u> The western half of San Marcos contains the original Downtown core of the City, the traditional activity and population center of the community.	13	Notable	
8.	The San Marcos City Council provided direction to rewrite the City's current Comprehensive Plan, Vision San Marcos, originally adopted in 2013. The policies, projects, and programs in this Plan aim to help shape the future of the places where San Marcans live, work, shop, and play by preserving what's important to the community and guiding investments that help make San Marcos a vibrant and unique city for all. As such, the rewrite included significant public engagement to obtain input from the public, stakeholders, and organizations in San Marcos throughout the planning process.	13	<del>The San Marcos City Council provided direction to rewrite the City's current Comprehensive Plan, Vision San Marcos, originally adopted in 2013.</del> The policies, projects, and programs in this Plan aim to help shape the future of the places where <del>San Marcans</del> <u>residents</u> live, work, shop, and play by preserving what's important to the community and guiding investments that help make San Marcos a vibrant and unique city for all. As such, the <u>Comprehensive Plan</u> rewrite included significant public engagement to obtain input from the public, stakeholders, and organizations in San Marcos throughout the planning process.	13	Stylistic	
9.	Based on the 2022 Census Estimates, the city's population is approximately 72,000 today.	14	Based on the 2022 Census Estimates, the city's population is approximately 72,000 <del>today</del> <u>in 2023</u> .	14	Stylistic	

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
10.	Fertile soils, a constant water supply, and abundant game provided the setting for possibly for the oldest continually occupied site in North America. ... The permanence of the town was secured with the extension of the International and Great Northern Railroads through San Marcos in 1880, and the opening of Southwest Texas State Normal School (now Texas State University) in 1903.	14	Fertile soils, a constant water supply, and abundant game provided the setting <del>for possibly for what is likely</del> the oldest continually occupied site in North America. ... The permanence of the town was secured with the extension of the International and Great Northern Railroads through San Marcos in 1880, and the <del>opening charter</del> of Southwest Texas State Normal School (now Texas State University) in <del>1903</del> 1899.	14	Stylistic	
11.	Texas State University's acquisition of Aquarena Springs in 1994 marked a shift in emphasis from a "theme park" to one of "ecotourism." In the early 1990s, the Tanger Outlet Mall and San Marcos Factory Outlet Mall (now Prime Outlets) became another major draw for tourism. Enrollment at Texas State University now exceeds 38,000 students and the student population is projected to increase by nearly 11,000 students by 2035.	15	Texas State University's acquisition of Aquarena Springs in 1994 marked a shift in emphasis from a "theme park" to <u>the study of water and the environment.</u> <del>one of "ecotourism."</del> In the early 1990s, the Tanger Outlet Mall and San Marcos Factory Outlet Mall (now Prime Outlets) became another major draw for tourism. Enrollment at Texas State University now exceeds 38,000 students <del>and the student population is projected to increase by nearly 11,000 students by 2035.</del>	14	Stylistic	
12.	The San Marcos River originating from the San Marcos Springs runs through the city and joins with the Blanco River <u>south of the city.</u>	15	The San Marcos River originating from the San Marcos Springs runs through the city and joins with the Blanco River <u>southeast of the city.</u>	15	Stylistic	
13.	Cities can grow through infill and redevelopment, through the orderly request for extension of utilities in the ETJ followed by annexation, through "leap frog" development outside the city's ETJ or in MUDs, or a combination of all of these.	16	Cities can grow through infill and redevelopment, through the orderly request for extension of utilities in the ETJ followed by annexation, <u>or</u> through <del>"leap frog" development outside the city's ETJ or in MUDs, or a combination of all of these.</del>	16	Stylistic	
14.	The 2017-2021 American Community Survey estimates the median household income of San Marcos at \$42,500.	16	The 2017-2021 American Community Survey estimates the median household income of San Marcos at \$42,500 <u>in 2021.</u>	16	Stylistic	
15.	In order, the next largest employment sectors in San Marcos include Accommodation, Food Service (17.9%), Educational Services (14.4%), Health Care and Social Assistance (8.9%),	17	<del>In order, t</del> The next largest employment sectors in San Marcos include <u>Hotels, Accommodation,</u> Food Service (17.9%), Educational Services (14.4%), Health Care	16	Stylistic	



Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
	Manufacturing (5.5%), and Construction (5.4%).		and Social Assistance (8.9%), Manufacturing (5.5%), and Construction (5.4%).			
16.	The largest industries in Hays County are Education, Retail Trade, Hotel/Restaurant, Health Care, and Construction.	17	The largest industries <a href="#">by employment</a> in Hays County are Education, Retail Trade, Hotel/Restaurant, Health Care, <a href="#">Manufacturing/Distribution</a> and Construction.	17	Stylistic	
17.	Nearly one-fifth of San Marcans commute to Austin and approximately five percent of residents commute to San Antonio. In all, approximately 68 percent of San Marcans commute out of the city for work, which is nearly double the percent of residents that did so 20 years ago.	17	Nearly one-fifth of <a href="#">San Marcans residents</a> commute to Austin and approximately five percent of residents commute to San Antonio. In all, approximately 68 percent of <a href="#">San Marcans residents</a> commute out of the city for work, which is nearly double the percent of residents that did so 20 years ago.	17	Stylistic	
18.	Approximately 41% of San Marcans identify as Hispanic or Latino.	17	Approximately 41% of <a href="#">San Marcans residents</a> identify as Hispanic or Latino.	17	Stylistic	
19.	According to the Greater San Marcos Partnership, the population of the region within a one-hour drive of San Marcos is more than 4 million people and Hays County was the fastest growing county with a population 100,000 or more in the country. Hays County experienced 53 percent growth from 2010 to 2020 -(83,960 residents to 241,067 residents). As of 2020, Hays County had 82,767 households and 89,176 housing units. Comal County immediately south also experienced 49 percent growth from 2010 to 2020, contributing to the I-35 corridor from San Antonio to Austin the fastest growing region in the country.	18	According to the Greater San Marcos Partnership, the population of the region within a one-hour drive of San Marcos is more than 4 million people and Hays County was the fastest growing county <a href="#">from 2010 to 2020</a> with a population <a href="#">of</a> 100,000 or more in the <a href="#">countryUnited States</a> . Hays County experienced 53 percent growth from 2010 to 2020 -(83,960 residents to 241,067 residents). As of 2020, Hays County had 82,767 households and 89,176 housing units. Comal County immediately south also experienced 49 percent growth from 2010 to 2020, contributing to the I-35 corridor from San Antonio to Austin <a href="#">being named</a> the fastest growing region in the country.	17	Stylistic	

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
20.	A comprehensive plan, if properly utilized, acts as a tool for managing and directing growth, lends predictability to developers by illustrating the types of development desired throughout the city and locates existing and proposed infrastructure. It gives legal backing to ordinances and development codes while eliminating arbitrary or capricious enforcement of these laws. With input from the community during the comprehensive planning process, the document serves as the record of the city's long-range vision. In the face of constant change, this is the most important reason to plan. A comprehensive plan with extensive community input allows a community's residents to determine what factors will guide development decisions and gives them the opportunity to decide what the future of their city will be.	20	A comprehensive plan, if properly utilized, acts as a tool for managing and directing growth, lends predictability to developers by illustrating the types of development desired throughout the city and locates existing and proposed infrastructure. <del>It gives legal backing to ordinances and development codes while eliminating arbitrary or capricious enforcement of these laws.</del> With input from the community during the comprehensive planning process, the document serves as the record of the city's long-range vision. <del>In the face of constant change, this is the most important reason to plan.</del> A comprehensive plan with extensive community input allows a community's residents to determine what factors will guide development decisions and gives them the opportunity to decide <del>what</del> the future of their city <del>will be</del> .	20	Stylistic	
21.	Strategic Plans take a more immediate approach and identify short-term actions to achieve long term goals. Capital Improvements Plans (CIP) guide the use of the city's budget. Public Participation Plans outline when and how citizens will be involved in the city's operations.	20	Strategic Plans take a more immediate approach and identify short-term actions to achieve long term goals. Capital Improvements Plans (CIP) guide the use of the city's budget. <del>Public Participation Plans outline when and how citizens will be involved in the city's operations.</del>	20	Stylistic	
22.	Ensuring an inclusive and equitable future for existing and future residents of San Marcos requires a new plan that builds on the foundation of Vision San Marcos: A River Runs Through Us, while also engaging new and old voices in meaningful conversations about potential futures and their tradeoffs.	21	<del>Encouraging</del> Ensuring an inclusive and equitable future for existing and future residents of San Marcos requires a new plan that <del>builds on the foundation of Vision San Marcos: A River Runs Through Us, while also engages</del> ing new and old voices in meaningful conversations about potential futures and their tradeoffs.	21	Stylistic	
23.	The staff and consultant planning team have been collecting input from the Comprehensive Plan Steering Committee (CPSC), community, and focus groups on developing the draft vision, goals, and	22	<del>MOVE THE SUMMARY OF COMMUNITY ENGAGEMENT TO THE APPENDIX</del> The <del>City</del> staff and consultant planning team have been collecting input from the Comprehensive Plan Steering Committee (CPSC), community, and focus groups on developing the draft vision, goals, and	22	Notable	Staff kept the lead-in text, updated the total number of comments, and added an additional sentence in order to direct the reader to the appendix.

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
	guiding principles which are foundational components for Vision SMTX.		guiding principles which are foundational components for Vision SMTX.			Additional lead-in text was also added to the Appendix for context.
24.	This then led into the creation of more detailed recommendations and strategies for the planning elements and a series of place types that were derived from the combinations of high-level land use and land use intensity included in the Preferred Growth Scenario Map. The Area Plan development process then kicked off while the planning team worked on a strategic implementation strategy for the Comprehensive Plan.	22	<del>This then led into the creation of</del> <u>Next</u> , more detailed recommendations and strategies for the planning elements and a series of <del>p</del> Place <del>t</del> Types <del>that</del> were derived from the combinations of high-level land use and land use intensity included in the Preferred Growth Scenario Map. The Area Plan development process then <del>kicked off</del> <u>began</u> while the planning team worked on a strategic implementation strategy for the Comprehensive Plan.	22	Stylistic	In conjunction with item #23, this has been moved to the appendix of the alternative draft.
25.	The kick-off events focused on orienting the Community to the Vision SMTX project and collecting input on vision, goals, and guiding principles as well as spatial data on opportunities and constraints.	23	The kick-off events focused on orienting the <del>C</del> community to the Vision SMTX project and collecting input on vision, goals, and guiding principles as well as spatial data on opportunities and constraints.	N/A	Stylistic	In conjunction with item #23, this has been moved to the appendix of the alternative draft.
26.	<b>April 6, 2022 Virtual Community Presentation</b> – The City hosted a virtual presentation on the Draft Preferred Growth Scenario Map via Zoom as a supplement to the virtual map survey.	24	<b>April 6, 2022 Virtual Community Presentation</b> – The City hosted a virtual presentation on the Draft Preferred Growth Scenario Map <u>via Zoom online</u> as a supplement to the virtual map survey.	N/A	Stylistic	In conjunction with item #23, this has been moved to the appendix of the alternative draft.
27.	<b>June 22, 2022 Downtown Workshop</b> – The City hosted an in-person workshop to kick off the Downtown Area Plan at the San Marcos Price Center.	25	<b>June 22, 2022 Downtown Workshop</b> – The City hosted an in-person workshop to kick off the Downtown Area Plan at the <del>San Marcos</del> Price Center.	N/A	Stylistic	In conjunction with item #23, this has been moved to the appendix of the alternative draft.
28.	<b>Downtown Oversight Committee</b>	26	<b>Downtown Over</b> sight Committee	N/A	Stylistic	In conjunction with item #23, this has been moved to the appendix of the alternative draft.
29.	The Comprehensive Plan Steering Committee (CPSC) is a diverse collective of 31 community members appointed by City Council that represent different districts sand varying demographics within the City. Committee members provide input and feedback on each element of the planning process. ...	28	The Comprehensive Plan Steering Committee (CPSC) is a diverse collection <u>one</u> of 31 community members appointed by City Council that represent different <del>districts</del> <u>geographic areas</u> and varying demographics within the City. Committee members provided <u>input</u> and feedback <del>on each element of the planning process</del> . ...	N/A	Stylistic	In conjunction with item #23, this has been moved to the appendix of the alternative draft.

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
	In addition to the regularly scheduled meetings, subcommittees were formed to refine the Planning Elements outlined in Section 2 of this plan. A total of 23 subcommittee meetings were held.		In addition to the regularly scheduled meetings, subcommittees were formed to refine the Planning Elements outlined in Section 2 <del>of this plan</del> . A total of 23 subcommittee meetings were held.			
30.	<b>Past Meetings:</b> <ul style="list-style-type: none"> <li>CPSC Virtual Meeting #1: November 20, 2020</li> </ul>	28	<del>Past Meetings:</del> <ul style="list-style-type: none"> <li>CPSC Virtual Meeting #1: November <del>2012</del>, 2020</li> </ul>	N/A	Stylistic	In conjunction with item #23, this has been moved to the appendix of the alternative draft.
31.	The purpose of these groups is to provide specific input and guidance on each step of the Planning process.	29	The purpose of these groups <del>is was</del> to provide specific input and guidance on each step of the Planning process.	N/A	Stylistic	In conjunction with item #23, this has been moved to the appendix of the alternative draft.
32.	<ul style="list-style-type: none"> <li>Arts Master Plan Open House @ San Marcos Price Center</li> <li>San Marcos Area Chamber of Commerce Business Expo @ Embassy Suites</li> <li>San Marcos Area Chamber of Commerce Business Expo @ Embassy Suites</li> </ul>	30	<ul style="list-style-type: none"> <li>Arts Master Plan Open House @ <del>San Marcos</del> Price Center</li> <li>San Marcos Area Chamber of Commerce Business Expo @ <del>Embassy Suites San Marcos</del> Conference Center</li> <li>San Marcos Area Chamber of Commerce Business Expo @ <del>Embassy Suites San Marcos</del> Conference Center</li> </ul>	N/A	Stylistic	In conjunction with item #23, this has been moved to the appendix of the alternative draft.
33.	The Plan is organized into five major sections and paired with a series of technical appendices.	32	The Plan is organized into five major sections and <del>paired with</del> followed by a series of technical appendices.	23	Stylistic	
34.	It is accompanied by as set of Guiding Principles that were used throughout the planning process to guide decision making and weigh trade-offs.	32	It is accompanied by as set of Guiding Principles that were used throughout the planning process to guide decision making and weigh trade-offs.	23	Stylistic	
35.	<b>SECTION 3: PREFERRED GROWTH SCENARIO</b> The third section of the Plan builds on the land use intensity matrix developed as part of the Vision San Marcos: A River Runs Through Us Comprehensive Plan, and advances many of those key concepts with the introduction of overlays and place types. Place types are an expression of the combination of high-level land use and land use intensity that help to communicate desired development qualities and patterns across San Marcos.	32	<b>SECTION 3: PREFERRED GROWTH SCENARIO</b> The third section of the Plan builds on the land use intensity matrix developed as part of the Vision San Marcos: A River Runs Through Us Comprehensive Plan. <del>This section includes, and advances</del> many of those key concepts with the introduction of overlays and <del>p</del> Place <del>t</del> Types. Place <del>t</del> Types are <del>an expression of the</del> combination of high-level land use and land use intensity that help to communicate desired development qualities and patterns across San Marcos.	23	Stylistic	



Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
36.	<b>SECTION 4: AREA PLANS</b> The fourth section of the Plan provides an overview of the Area Planning approach employed by San Marcos during the Comprehensive Plan effort and discusses the approach to developing and updating Regional Center plans, as well as Neighborhood Area Plans for areas across San Marcos.	33	<b>SECTION 4: AREA PLANS</b> The fourth section of the Plan provides an overview of the Area Planning approach <del>employed by San Marcos during the Comprehensive Plan effort</del> and discusses the approach to developing and updating Regional Center plans, as well as Neighborhood Area Plans <del>for areas across San Marcos.</del>	24	Stylistic	
37.	The Vision SMTX Comprehensive Plan also includes a series of appendices, providing consolidated summaries and more detailed information pertaining to: <ul style="list-style-type: none"> <li>Goals and Objectives;</li> <li>Key Findings from the Fiscal Impact Analysis;</li> <li>Methodology for Overlays;</li> <li>Comparison of the Preferred Scenario to the Trends Scenario; and</li> <li>Community Engagement.</li> </ul>	33	<b>APPENDIXES</b> The Vision SMTX Comprehensive Plan also includes a series of appendices, providing consolidated summaries and more detailed information pertaining to: <ul style="list-style-type: none"> <li><del>Summary of Community Engagement;</del></li> <li><del>Place Type Graphics;</del></li> <li>Goals and <del>Objectives</del>Considerations;</li> <li>Key Findings from the Fiscal Impact Analysis;</li> <li>Methodology for Overlays; <del>and</del></li> <li><del>Comparison of the Preferred Scenario to the Trends Scenario; and</del></li> <li><del>Community Engagement.</del></li> </ul>	24	Stylistic	
38.	<b>Vision SMTX is a community-based update to the Comprehensive Plan for San Marcos. As part of the planning process, the community's vision for the city was updated and paired with a set of guiding principles.</b>	35	<b>Vision SMTX is a community-based <del>update to the Comprehensive Plan for San Marcos. As part of the planning process, the community's vision for the city was updated-reviewed</del> and paired with a set of guiding principles.</b>	27	Stylistic	"Objectives" is changed to "Considerations" in all instances in the Plan and Appendix.
39.	The vision and guiding principles are supported by a set of goals, policies and objectives that nest within Planning Elements.	37	The vision and guiding principles are supported by a set of goals, policies and <del>objectives-considerations</del> that <del>nest are</del> within Planning Elements.	29	Stylistic	
40.	<b>COMMUNITY VISION</b> <i>San Marcos is a community of diverse and inclusive neighborhoods that protects and celebrates the <u>San Marcos River</u> and other rich natural, historical and cultural assets; embraces its small-town feel, charm and quality of life; and leverages strategic development to continue building a</i>	38	<b>COMMUNITY VISION</b> <i>San Marcos is a community of diverse and inclusive neighborhoods that protects and celebrates the <u>San Marcos River</u> and other rich natural, historical and cultural assets; embraces its small-town feel, charm and quality of life; and leverages strategic development to continue building a sustainable</i>	30	Stylistic	

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	<i>sustainable community with enhanced access and opportunities for people and businesses</i>		<i>community with enhanced access and opportunities for people and businesses</i>			
41.	The community vision was created to help inform the guiding principles, goals, policies, and other recommendations included in this Plan. The vision statement describes how San Marcos picture their city in the future. This vision also establishes the lens through which the Preferred Growth Scenario and associated Place Types, introduced in the next section, were created and analyzed.	38	The community vision was created to help inform the guiding principles, goals, policies, <a href="#">area plans</a> , and other recommendations included in this Plan. The vision statement describes how <del>San Marcos the community</del> pictures their city in the future. This vision also establishes the <del>basis for lens through which</del> the Preferred Growth Scenario and associated Place Types, <del>introduced in the next section, were created and analyzed.</del>	31	Stylistic	
42.	The Vision SMTX Comprehensive Plan is based on building on the past while considering future needs to create a sustainable, resilient, and inclusive city comprising complete neighborhoods that provide equitable and people-focused development and amenities for the community.	38	The Vision SMTX Comprehensive Plan <del>is based on building builds</del> on the past while considering future needs to create a sustainable, <del>and</del> resilient, and inclusive city comprising complete neighborhoods that provide equitable and people-focused development and amenities for the community.	31	Stylistic	
43.	The San Marcos River is a crucial amenity and natural asset in the City and responsible growth that minimizes environmental impacts to the river and other natural resources is foundational to keeping San Marcos a thriving and sustainable community.	39	The San Marcos River is a <del>an important crucial</del> <a href="#">community</a> amenity and natural asset in the City. <del>and</del> <del>Responsible</del> growth that minimizes environmental impacts to the river and other natural resources is <del>foundational-fundamental</del> to keeping San Marcos a thriving and sustainable community.	31	Stylistic	
44.	<b>GUIDING PRINCIPLES</b> The Comprehensive Plan process and direction set throughout that process utilizes a set of guiding principles to navigate and narrow the vast range of options facing the community.	40	<b>GUIDING PRINCIPLES</b> The Comprehensive Plan process <del>and direction set throughout that process</del> utilizes a set of guiding principles to navigate and narrow the vast range of options facing the community.	32	Stylistic	
45.	<b>Sustainable and Resilient</b> San Marcos strives to promote and balance economic, environmental resiliency, and social sustainability for current residents and future generations.	41	<b>Sustainable and Resilient</b> San Marcos strives to promote and balance economic, <del>and</del> environmental resiliency, and social sustainability for current residents and future generations.	33	Stylistic	
46.	For each of the 23 Goals introduced, the Policy Framework includes a set of policy	42	For each of the 23 Goals introduced, the Policy Framework includes a set of policy statements and	34	Stylistic	

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	statements and defines success through a set of Objectives.		defines success through a set of <del>Objectives</del> <u>Considerations</u> .											
47.	The table to the right defines each of the Policy Framework components in more detail.	42	The <u>next</u> table <del>to the right</del> defines each of the Policy Framework components in more detail.	34	Stylistic									
48.	<table><tr><th>Framework Component</th></tr><tr><td>Goal</td></tr><tr><td>Policy</td></tr><tr><td>Objective</td></tr></table>	Framework Component	Goal	Policy	Objective	43	<table><tr><th>Framework Component</th></tr><tr><td>Goal</td></tr><tr><td>Policy</td></tr><tr><td><u>Objective</u> <u>Consideration</u></td></tr></table>	Framework Component	Goal	Policy	<u>Objective</u> <u>Consideration</u>	35	Stylistic	
Framework Component														
Goal														
Policy														
Objective														
Framework Component														
Goal														
Policy														
<u>Objective</u> <u>Consideration</u>														
49.	San Marcos has a diversity of arts, culture, and educational assets. ... Additionally, the Texas State University campus has public art, as well as live performance venues, galleries and museums. These spaces provide areas where residents can engage and enrich their lives.	44	San Marcos has a diversity of arts <del>stistic, and</del> <u>cultural, and educational</u> assets. ... Additionally, the Texas State University campus has public art, as well as live performance venues, <u>and</u> galleries <del>and museums</del> . These spaces provide areas where residents can engage and enrich their lives.	36	Stylistic									
50.	AC-1.2 Identify the need and opportunities for new arts and culture related facilities such as libraries, museums, and community theaters as the city grows.	45	AC-1.2 Identify the need and opportunities for new arts and culture related facilities such as libraries, museums, and community theaters <del>as the city grows</del> .	37	Stylistic									
51.	San Marcos has a strong economy as well as strong growth opportunities. It is therefore important for the City to support its existing local employers and small businesses, as well as existing growth sectors, while also attracting new business to grow and diversify its employment base. San Marcos is situated in the heart of what has been coined the Texas Innovation Corridor, an area for commercialized innovation. San Marcos’ economy is driven by retail services, accommodations and food service, education, and health care/social assistance. These sectors account for nearly two-thirds of jobs in San Marcos, as well as a large	48	San Marcos has a strong economy as well as strong growth opportunities. It is therefore important for the City to support its existing local employers and small businesses, as well as existing growth sectors, while also attracting new businesses <u>es</u> to grow and diversify its employment base. San Marcos is situated in the heart of <del>what has been coined</del> the Texas Innovation Corridor <u>as named by the Greater San Marcos Partnership, an area for commercialized innovation</u> . San Marcos’ economy is driven by retail services, accommodations and food service, education, and health care <del>/social assistance</del> . These sectors account for nearly two-thirds of jobs in San Marcos, as well as a large portion of employment growth in recent	40	Stylistic									

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	portion of employment growth in recent years. While attracting new employers is an important economic development goal, this should not be done to the detriment of existing businesses.		years. <del>While attracting new employers is an important economic development goal, this should not be done to the detriment of existing businesses.</del>			
52.	ECD-2.4 Review incentive policies with consideration of current economic development strategy	49	ECD-2.4 Review incentive policies with consideration of current economic development strategy <u>as conditions change.</u>	41	Stylistic	
53.	ECD-2.6 Support affordability (e.g., housing, living wages, high quality training programs, and anti-displacement policies) as an	49	ECD-2.6 Support <del>affordability (e.g., housing, living wages, high quality training programs, and anti-displacement policies)</del> <u>and other affordability methods</u> as an essential component of economic development.	41	Stylistic	
54.	ECD-3.4 Develop and implement a standard process for reviewing and scoring prospects for incentives.	50	ECD-3.4 <del>Develop and implement a standard</del> <u>Evaluate existing</u> process for reviewing and scoring prospects for incentives <u>as conditions change.</u>	42		
55.	There is a wealth of natural resources in San Marcos that warrant environmental <u>protection sustainability</u> practices, including rivers, watersheds, and endangered habitats. The impact of development on the environment can be positive or negative – <del>development can enhance environmental features for the better or it can take away from the natural environment.</del> Sustainable <u>and protective</u> practices will ensure these resources are maintained as San Marcos continues to grow and develop. The widely accepted definition of sustainable development is “development that meets the needs of the present without compromising the resources needed for future generations.” <del>to meet their own needs. In recent decades, the concept of sustainability has evolved from discussions on environmental policies and practices to discussions on environmental, economic, and social equity policies and practices (otherwise</del>	52	There is a wealth of natural resources in San Marcos that warrant environmental <u>protection sustainability</u> practices, including rivers, watersheds, and endangered habitats. The impact of development on the environment can be positive or negative – <del>development can enhance environmental features for the better or it can take away from the natural environment.</del> Sustainable <u>and protective</u> practices will ensure these resources are maintained as San Marcos continues to grow and develop. The widely accepted definition of sustainable development is “development that meets the needs of the present without compromising the resources needed for future generations.” <del>to meet their own needs. In recent decades, the concept of sustainability has evolved from discussions on environmental policies and practices to discussions on environmental, economic, and social equity policies and practices (otherwise known as the Triple Bottom Line framework or 3 Pillars of Sustainability).</del>	44	Stylistic	



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	<del>known as the Triple Bottom Line framework or 3 Pillars of Sustainability).</del>					
56.	<p>A sustainable community:</p> <ul style="list-style-type: none"> <li>Utilizes land development methods that minimize impacts to the natural environment (Environmental Sustainability);</li> <li>Uses its resources and assets to provide long-term economic benefits (Economic Sustainability); and</li> <li>Seeks to provide benefits, opportunities, and services to all members of the community (Social Equity).</li> </ul> <p>The following will focus on San Marcos' goal for environmental sustainability and will discuss the ways in which San Marcos seeks to incorporate environmentally sustainable development practices to achieve balanced growth and explore methods to expand upon its efforts using the recommendations included in this Plan.</p>	52	<p>A sustainable community:</p> <ul style="list-style-type: none"> <li>Utilizes land development methods that minimize impacts to the natural environment (Environmental Sustainability);</li> <li>Uses its resources and assets to provide long-term economic benefits (Economic Sustainability); and</li> <li>Seeks to provide benefits, opportunities, and services to all members of the community (Social <del>Equity</del>Sustainability).</li> </ul> <p><del>The following will focus on San Marcos' goal for environmental protection and sustainability and will discuss the ways in which San Marcos seeks to incorporate environmentally sustainable development practices to achieve balanced growth and explore methods to expand upon its efforts using the recommendations included in this Plan.</del></p>	44	Stylistic	
57.	ENV-1.1 Incentivize development in targeted areas based on the Preferred Scenario Map with adequate drainage, water quality, and green infrastructure to accommodate growth.	53	ENV-1.1 Incentivize <del>and/or streamline</del> development in targeted areas based on the Preferred Scenario Map with adequate drainage, water quality, and green infrastructure to accommodate growth.	45	Stylistic	
58.	ENV-1.10 Establish goals to minimize water use in each sub-watershed over the period of this plan.	53	ENV-1.10 Establish goals to minimize water use in each sub-watershed <del>over the period of this plan.</del>	45	Stylistic	
59.	ENV-2.3 Establish resilient and sustainable approaches to ensuring a supply of safe groundwater and surface water, including water reuse and reclaim practices to prevent depletion of groundwater sources and minimize impact on regional water systems.	54	ENV-2.3 Establish resilient and sustainable approaches to ensuring a supply of safe groundwater and surface water, including water reuse and reclaim practices to prevent depletion of groundwater sources and minimize impact on regional water systems.	46	Stylistic	

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60.	ENV-3.4 Provide financial incentives to encourage developers to implement green building practices, conservation-style development, and increased density in targeted areas as indicated on the Preferred Scenario Map.	54	ENV-3.4 <del>Provide financial incentives to e</del> Encourage developers to implement green building practices, <u>and</u> conservation-style development, <del>and increased density in targeted areas as indicated on the Preferred Scenario Map.</del>	46	Stylistic	
61.	<p>Through the promotion of diverse housing choices, San Marcos can provide varied neighborhoods that support a high quality of life and enhance and maintain the small-town feel of the community.</p> <p>As San Marcos grows and expands, the City must ensure continued investment in the traditional core neighborhoods. Continued investment in the form of new parks, public spaces, multimodal and transit infrastructure, and existing housing stock will help preserve the quality and value of these areas. New developments in existing neighborhoods and along existing corridors need to be compatible with the surrounding context. Strategic infill development that is compatible with the adjacent corridors and neighborhoods can enhance areas by infusing new commercial, employment, residential, and recreation opportunities that help make more complete and vibrant places.</p> <p>New neighborhood parks, commercial amenities, trails, and bike paths are all investments that can be incorporated into existing and new development areas to increase the quality of life of residents. Both existing and new areas offer the opportunity to create more inclusive and equitable spaces that accommodate residents of varying incomes, housing types, transportation needs, ages, and ability levels.</p>	56	<p><del>Through the promotion of diverse housing choices,</del> San Marcos can <u>continue to</u> provide <del>varied diverse housing choices and a variety of</del> neighborhoods that support a high quality of life and enhance and maintain the small-town feel of the community.</p> <p>As San Marcos grows and expands, the City must <del>ensure encourage</del> continued investment in the traditional core neighborhoods <u>while always keeping in mind that they must be protected from inconsistent infill development.</u> <del>Continued</del> <u>Investment</u> in the form of new <u>housing stock,</u> parks, public spaces, multimodal, <u>and</u> transit infrastructure, <del>and existing housing stock can will</del> help preserve the quality and value of these areas. New developments in existing neighborhoods and along existing corridors need to be compatible with the surrounding context <u>as per the Area Plans and Neighborhood Character Studies, applicable.</u></p> <p>San Marcos should strive for an appropriate mixture of housing types, commercial developments, and mixed-use places to enhance existing areas and create new livable neighborhoods. New <del>and revitalized</del> neighborhoods with access to parks and integrated trail networks and a range of other amenities for all ages can help promote healthy and active lifestyles for all residents.</p> <p>New neighborhood parks, commercial amenities, trails, and bike paths are all investments that can be incorporated into existing <del>and new development</del> areas <u>based on Area Plans, as applicable,</u> to increase</p>	48	Notable	

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	San Marcos should strive for an appropriate mixture of housing types, commercial developments, and mixed-use places that help to enhance existing areas and create new livable neighborhoods. New and revitalized neighborhoods with access to parks and integrated trail networks and a range of other amenities for all ages can help promote healthy and active lifestyles for all residents. Revitalization of a neighborhood should not mean that the residents that have lived there the longest are forced from their homes with no options or choice to remain.		<p>the quality of life of residents. <del>Both existing and Creative development in</del> new areas <u>is encouraged and offers</u> the opportunity to create more inclusive and equitable spaces that accommodate residents of varying incomes, housing types, transportation needs, ages, and ability levels.</p> <p>Strategic infill development that is compatible with the adjacent corridors and neighborhoods can enhance areas by infusing new commercial, employment, residential, and recreation opportunities that help make more complete and vibrant places. Revitalization of a neighborhood should not mean that the <u>long-term</u> residents <del>that have lived there the longest</del> are forced from their homes with no options or choice to remain.</p>			
62.	HN-1.1 Update, review, and adopt a Housing Action Plan using the Workforce Housing Task Force Draft Plan in 2019 as a foundation. (See Plan Appendix)	57	HN-1.1 <u>Update, review, and adopt a Housing Action Plan using the Workforce Housing Task Force Draft Plan in 2019 as a foundation. (See Plan Appendix).</u> <u>Update, review, and adopt a Housing Action Plan.</u>	49	Stylistic	
63.	HN-1.4 Partner with Texas State University to continuously gather growth projections in order to plan effectively for the implications of student/faculty/staff housing needs (housing location, types, and transportation needs).	57	HN-1.4 Partner with Texas State University to <u>continuously routinely gather address student</u> growth projections in order to plan effectively for the implications of student/faculty/staff housing needs (housing location, types, and transportation needs).	49	Stylistic	
64.	<p>HN-2.2 Streamline the development process for priority housing development and to keep pace with population growth.</p> <p>HN-2.3 Encourage and incentivize diverse housing types.</p> <p>HN-2.4 Encourage all neighborhood centers identified on the Preferred Scenario Map to allow for multiple diverse housing types.</p>	58	<p><del>HN-2.2—Streamline the development process for priority housing development and to keep pace with population growth.</del></p> <p>HN-2.<del>23</del> Encourage and <u>consider</u> incentiviz<u>inge</u> diverse housing types.</p> <p>HN-2.<del>34</del> <u>Consider e</u>Encourag<u>inge</u> all neighborhood centers identified on the Preferred Scenario Map to allow for multiple diverse housing types.</p>	50	Notable	

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65.	HN-2.8 Support programs and enhance resources to protect renters to ensure affordable, safe, and stable rental housing options and ensure education on tenant rights and responsibilities.	58	HN-2.78 <del>Support</del> <u>Promote</u> programs and enhance resources to protect renters <del>to and ensure support</del> affordable, safe, and stable rental housing options. <del>and ensure education on tenant rights and responsibilities.</del>	50	Stylistic	
66.	N/A	58	<del>HN-2.8</del> <u>Promote programs and provide education on tenant rights and responsibilities.</u>	50	Stylistic	
67.	HN-3.1 Implement transition zones, buffers, and other tools to ensure compatibility between buildings and neighborhoods.	58	HN-3.1 <del>Ensure</del> <u>Implement</u> transition zones, buffers, and other tools to ensure compatibility between buildings and neighborhoods.	50	Stylistic	
68.	HN-4.1 Encourage and allow housing in mixed use centers identified on the Preferred Scenario Map with close proximity to schools, employment centers, transit, recreational opportunities, and other community resources.	59	HN-4.1 <del>Encourage and allow</del> <u>Consider</u> housing in mixed use centers identified on the Preferred Scenario Map with close proximity to schools, employment centers, transit, recreational opportunities, and other community resources.	51	Stylistic	
69.	Objectives: - Continual update of Housing Needs Assessments (frequency to be determined)	59	<del>Objectives</del> <u>Considerations:</u> - <del>Continual</del> <u>Periodic</u> update of Housing Needs Assessments <del>(frequency to be determined)</del>	51	Stylistic	
70.	- Proportion of homes within a 15-minute walk of essential services and amenities (e.g., grocery, pharmacy, parks, etc.)	59	- Proportion of homes within a 15-minute walk of <del>essential</del> <u>basic</u> services and amenities (e.g., grocery, pharmacy, parks, etc.)	51	Stylistic	
71.	- Number of new diverse housing units built	59	- Number of new <del>diverse</del> housing units built <u>by category/type</u>	51	Stylistic	
72.	A balanced future with equitable provision and distribution of housing, promotion of different types of businesses, and considerations for environmental impacts will help San Marcos continue to be an innovative, prosperous, and attractive community. San Marcos offers a wide variety of neighborhoods for its residents ranging from historic and highly walkable districts to	60	<u>Land Use + Community Design and Character refers to the way in which different kinds of uses and amenities, their location, and the way they are designed can contribute to the look and feel of San Marcos. In particular, the provision and location of different kinds of housing and businesses in San Marcos are an important part of achieving the community's vision. San Marcos offers a wide variety of neighborhoods and areas of town including Historic Districts, single-family, variations of</u>	52	Notable	

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	<p>suburbs and from garden apartments with shared amenities to rural living with ample acreage and privacy.</p> <p>The promotion and integration of new housing types, parks, and other assets into existing and new neighborhoods can provide the community with new housing options and important amenities, but it also can put pressure on the existing community fabric and Historic districts.</p> <p>While change is inevitable, growth and evolution in San Marcos' historic areas must be balanced with preservation efforts and compatible development. Infill development provides an opportunity to make existing areas of San Marcos more complete and inclusive. It provides the opportunity to infuse new types of housing into an area, thereby diversifying San Marcos' housing stock and providing housing that accommodates the needs of a diverse and growing population. The inclusion of varied housing options ranging from apartments to single family attached homes, such as townhomes, to more compact single family detached homes, provides options for lifelong residents of different backgrounds and abilities to remain in their neighborhoods.</p> <p>While compatible and strategic infill development can create more complete and equitable neighborhoods, only a portion of San Marcos' future growth will be concentrated into these areas. In order to protect and preserve San Marcos' rural and natural lands, new development should be</p>		<p><u>multifamily, mixed use, and rural neighborhoods. The proximity of these neighborhoods to a variety of businesses, parks, or other amenities also differs. While change is inevitable, new growth and land uses in San Marcos should be strategic.</u></p> <p><u>As growth occurs, the potential inclusion of new housing types, parks, and other assets throughout San Marcos can provide the community with options on where to live based on their needs as well as recreation or basic amenities to support their needs and desires. Where an adopted Area Plan exists, land uses in the neighborhood or area should be guided by the Area Plan. In many cases, infill development provides the opportunity to make existing areas of San Marcos more complete by accommodating the needs of a diverse population and providing options for existing residents to potentially move into different housing types while also remaining in their neighborhoods.</u></p> <p><u>Aging neighborhoods could benefit from restoration and adaptive reuse of significant neighborhood structures because reuse of existing buildings supports sustainability goals and helps to maintain neighborhood character. Conversion of some residential structures at key intersections into supportive and compatible commercial or retail uses may enhance the neighborhood and provide needed amenities without detracting from the character that defines that neighborhood. Additionally, the integration of green spaces, public spaces, and unique design elements helps create identity, encourage resident interactions, and build a sense of community. Area Plans and Neighborhood Character Studies should provide guidance regarding conversion of residential structures. While compatible and strategic infill development can create more complete and equitable neighborhoods,</u></p>			



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	<p>strategic and located where infrastructure and amenities can be easily planned for and provided as well as maintained fiscally.</p> <p>Aging neighborhoods that face redevelopment pressures should support restoration and adaptive reuse of significant neighborhood structures because reuse of existing buildings supports sustainability goals and helps to maintain neighborhood character. Conversion of some residential structures at key intersections into supportive commercial or retail can enhance the neighborhood and provide needed amenities without detracting from the character that defines that neighborhood. Additionally, the integration of green spaces, public spaces, and unique design elements helps create identity, encourage resident interactions, and build a sense of community. The City of San Marcos should work with residents in underserved areas to provide these types of amenities.</p>		<p><u>only a portion of San Marcos' future growth will be in existing areas.</u></p> <p><u>To protect and preserve San Marcos' rural and natural lands, new development should be strategic and located where infrastructure and amenities can be easily planned for and provided as well as maintained fiscally.</u></p>			
73.	<b>Goal LU-2: Ensure all residents have safe and convenient access to nearby basic amenities, goods, and services</b>	61	<b>Goal LU-2:</b> <del>Ensure all</del> <u>New developments should provide residents have</u> safe and convenient access to nearby basic amenities, goods, and services	53	Notable	<p>Staff recommends the below revised text to address the subcommittee's concerns while also balancing the input received by the community.</p> <p><b>Goal LU-2:</b> <del>Ensure</del> <u>Encourage land use patterns that allow</u> all residents <u>the opportunity to</u> have safe and convenient access to nearby basic amenities, goods, and services</p>
74.	<b>LU-2.1</b> Allow a mix of land uses in neighborhood centers.	61	<b>LU-2.1</b> <del>Allow</del> <u>Consider</u> a mix of land uses in neighborhood centers <u>using Area Plans and Neighborhood Character Studies to guide this process, as applicable.</u>	53	Notable	

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75.	LU-2.2 Require all developments to dedicate adequate public right-of-way or access easements to accommodate all modes of transportation and ensure creek buffers accommodate alternative modes of transportation that are designed to preserve the natural characteristics of the area.		LU-2.2 Require all <u>new</u> developments to dedicate adequate public right-of-way or access easements to accommodate all modes of transportation. <del>and</del> <u>e</u> Ensure creek buffers accommodate alternative modes of transportation that are designed to preserve the natural characteristics of the area.	53	Stylistic	
76.	Goal LU-3: Establish a set of tools and programs, including incentives, to direct and manage growth consistent with community goals	62	Goal LU-3: Establish a set of tools and programs, <del>including incentives,</del> to direct and manage growth consistent with community goals	54	Notable	
77.	LU-3.3 Encourage and incentivize a variety of diverse housing types, including, but not limited to accessory dwelling units, attached single-family homes, manufactured homes, and multifamily developments.	62	LU-3.3 Encourage <del>and incentivize</del> a variety of diverse housing types, including, but not limited <del>to accessory dwelling units,</del> attached single-family homes, <u>micro homes,</u> manufactured homes, and multifamily developments. <u>Area Plans and Neighborhood Character Studies should guide this process, as applicable.</u>	54	Notable	
78.	N/A	62	LU-3.8 <u>Protect the pattern and character of existing neighborhoods by requiring new infill development to have complementary building forms and site features.</u>	54	Notable	
79.	<p>LU-4.1 Establish and incentivize conservation development guidelines, green infrastructure practices, and compact development.</p> <p>LU-4.2 Encourage and incentivize clustered development to protect open space, provide recreation amenities, minimize impervious surfaces, and reduce flooding.</p> <p>LU-4.3 Develop incentives in the Land Development Code and Stormwater Technical manuals for dense housing in new areas of growth and activity centers to</p>	62	<p>LU-4.1 Establish <del>and incentivize</del> conservation development guidelines, green infrastructure practices, and compact development.</p> <p>LU-4.2 Encourage <del>and incentivize</del> clustered development to protect open space, provide recreation amenities, minimize impervious surfaces, and reduce flooding.</p> <p>LU-4.3 Develop <del>incentives standards</del> in the Land Development Code and Stormwater Technical manuals for dense housing in new areas of growth and activity centers to preserve land for community and ecological benefit.</p>	54	Notable	

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	preserve land for community and ecological benefit.					
80.	Objectives: - Share of households within a 15-minute walk, bike ride or transit trip of mixed-use neighborhood centers	63	<del>Objectives:</del> <del>Considerations:</del> - Share of households within a 15-minute walk, bike ride, <u>vehicle trip</u> , or transit trip of mixed-use neighborhood centers	55	Stylistic	
81.	San Marcos has a robust system of parks, open space and trails. ... While San Marcos has a robust parks system, certain areas of the community suffer from access and connectivity issues.	64	San Marcos has a robust system of parks, open space <u>areas</u> , and trails. ... While San Marcos has a robust parks system, certain areas of the community <del>suffer from do not have easy access to these resources, and connectivity issues.</del>	56	Stylistic	
82.	PPS-1.1 Create a Greenways Master Plan to improve pedestrian and bicycle access and connections between parks, open spaces and recreation facilities and to encourage active transportation.  PPS-1.5 Ensure equitable access of parks for residents across the city, particularly east of IH-35 or where park access is currently limited.	65	PPS-1.1 Create a Greenways Master Plan to improve pedestrian and bicycle access and connections between parks, open spaces and recreation facilities <del>and to encourage active transportation.</del>  PPS-1.5 Ensure <del>equitable</del> access <del>of to</del> parks for residents across the city, particularly east of IH-35 or where park access is currently limited.	56	Notable	
83.	An integrated multimodal transportation network will provide San Marcos with safe and inviting intra- and inter-city pedestrian, bicycle, vehicular, and transit connections that will advance resident access and promote a more inclusive and equitable city and region. Transportation facilitates trade, travel, exchange, and social interaction. ... It establishes the framework for community growth and development that, along with the land use, establishes a physical and	68	An integrated multimodal transportation network will provide San Marcos with safe and inviting <del>intra- and inter-city</del> pedestrian, bicycle, vehicular, and transit connections that will advance resident access and promote a more inclusive and equitable city and region. Transportation facilitates trade, travel, <del>exchange</del> , and social interaction. ... It establishes the framework for community growth and development that, along with the land use, establishes a physical and <del>somewhat</del> permanent expression of long-range public policy. This element's	60	Stylistic	

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	somewhat permanent expression of long-range public policy. This element's goals and policies align with recent and current planning efforts to provide a balanced transportation system and examine methods to expand the system to offer further choices for how people travel.		goals and policies align with recent and current planning efforts to provide a balanced transportation system and examine methods to expand the system to offer further choices for <del>how people</del> travel.			
84.	TR-1.2 Establish or update Complete Streets policies, standards, and guidelines.	69	TR-1.2 <del>Establish or</del> Review and update <del>the</del> Complete Streets policies, standards, and guidelines.	61	Stylistic	
85.	TR-2.1 Improve transit coverage, frequency, and marketing throughout the city and to adjacent cities, with emphasis serving places where people live, work and access basic services as well as major employment areas.	70	TR-2.1 Improve transit coverage, frequency, and marketing throughout the city and to adjacent cities, with emphasis <u>on</u> serving places where people live, work and access basic services as well as major employment areas.	62	Stylistic	
86.	TR-2.4 Incorporate the Sidewalk Master Plan into other mobility initiatives and plans and review/ updated as needed.	70	TR-2.4 Incorporate the Sidewalk Master Plan into other mobility initiatives and plans and review/ updated <del>d</del> as needed.	62	Stylistic	
87.	<b>PREFERRED GROWTH SCENARIO</b> A key aspect of the update to the Comprehensive Plan was revisiting the Preferred Growth Scenario directing future investments and development in San Marcos. Vision SMTX builds on the community's previous Preferred Growth Scenario, but also adjusts to the development of the past decade, new community ideas, and national best practices. This section also introduces a framework for helping to ensure that development in San Marcos is contributing to complete places and communities.	73	<b>PREFERRED GROWTH SCENARIO</b> <del>A key aspect of the update to the Comprehensive Plan was revisiting is t</del> The Preferred Growth Scenario directing future <del>investments and</del> development in San Marcos. Vision SMTX builds on the community's previous Preferred Growth Scenario, but also adjusts to the development of the past decade, new community ideas, and national best practices. <del>This section also introduces a framework for helping to ensure that development in San Marcos is contributing to complete places and communities.</del>	63	Notable	
88.	<b>INTRODUCTION</b> During the Comprehensive Plan engagement process the community communicated a desire for all areas of San Marcos to meet the daily needs of nearby residents and employees. San Marcans expressed the need	74	<b>INTRODUCTION</b> <del>During the Comprehensive Plan engagement process the community communicated a desire for all areas of San Marcos to meet the daily needs of nearby residents and employees. San Marcans</del> Many in our <u>community</u> expressed the <del>need</del> <u>desire</u> for access to	66	Stylistic	

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	for access to their everyday essentials as well as amenities such as parks, shops, restaurants, trails, and community spaces near where they live. No comments from staff.		<del>basic needs</del> <del>their everyday essentials</del> as well as amenities such as parks, shops, restaurants, trails, and community spaces near where they live.			
89.	In addition, many participants cited examples of newer neighborhoods east and west of IH-35 that lack sufficient amenities and services within a reasonable distance. In turn, residents in many of these newer neighborhoods have no choice but to drive for nearly all of their trips. Neighborhoods that provide people with safe and convenient choices for a variety of goods and services, jobs, and housing options are more equitable and contribute to complete communities. As expressed throughout the public engagement, a key objective for this updated Comprehensive Plan is to leverage future public and private investment to help ensure all areas of San Marcos can become complete places.	74	In addition, many participants cited examples of newer neighborhoods east and west of IH-35 that lack sufficient amenities and services within a reasonable distance. <del>In turn, residents in many of these newer neighborhoods have no choice but to drive for nearly all of their trips. Neighborhoods that provide people with safe and convenient choices for a variety of goods and services, jobs, and housing options are more equitable and contribute to complete communities. As expressed throughout the public engagement, a key objective for this updated Comprehensive Plan is to leverage future public and private investment to help ensure all areas of San Marcos can become complete places.</del>	66	Notable	
90.	Complete Communities are made up of a variety of places that provide opportunities for people to live, work, and play. Many areas in San Marcos today are single use. For example, residential neighborhoods that have no nearby goods and services, or employment areas that are far removed from the housing where employees live.	75	Complete Communities <del>are made up</del> <u>consist</u> of a variety of places that provide opportunities for people to live, work, and play. Many areas in San Marcos today are single use. For example, <u>some</u> residential neighborhoods <del>that</del> have no nearby goods and services, or employment areas. <del>that are far removed from the housing where employees live.</del>	67	Stylistic	
91.	These homogenous areas mean that the average San Marcan has to travel farther and longer to access all of their needs. This contributes to unnecessary demands on the roadway network, traffic congestion, environmental impacts, and a higher cost of living for many households. It also means that those who are not able to drive, bike, or	75	<del>These homogenous areas mean that</del> <u>In these areas, the average San Marcan residents may have</u> <del>has</del> to travel farther and longer <u>than they would prefer</u> to access all of their needs. This contributes to <del>unnecessary demands</del> <u>demand</u> on the roadway network, <u>potential</u> traffic congestion <u>and</u> , environmental impacts, and <u>a could contribute to a</u> higher cost of living for <del>many</del> households. It also	67	Notable	



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	use transit may not have their needs met. More simply put, an incomplete community with few or poorly distributed amenities and services is inequitable and impacts transportation, health, quality of life, and the environment.		means that those who are not able to drive, bike, or use transit may not have their needs met. <del>More simply put, a</del> With these potential impacts in mind, an incomplete community <del>includes with</del> few or poorly distributed amenities and services <del>is inequitable and that may have an inequitable impacts on</del> transportation, health, quality of life, <del>and the environment</del> <u>on residents or areas of San Marcos.</u>			
92.	By locating a variety of places near each other and promoting a more equitable distribution of mixed use places, communities can benefit from the proximity of complementary uses, such as homes adjacent to opportunities to shop and dine, or employment centers close to commercial areas where people can access services after work. In addition to a variety of places, a Complete Community should include a variety of amenities and benefits within each place. This means embedding high-quality parks, open space, pedestrian and bicycle facilities, parking, and other community benefits within each place that make up a neighborhood or area of the city.	75	By locating a variety of places near each other <del>and promoting a more equitable distribution of mixed use places,</del> communities can benefit from the proximity of complementary uses. <del>Examples include such as</del> homes adjacent to opportunities to shop and dine, or employment centers close to commercial areas where people can access services after work. <del>In addition to a variety of places, a</del> Complete Community should include a variety of amenities and benefits within each place. This means embedding high-quality parks, open space, pedestrian and bicycle facilities, parking, and other community benefits within each place that make up a neighborhood or area of the city.	67	Notable	
93.	Many of San Marcos' original neighborhoods, especially those closest to Downtown, benefit from access to shops, restaurants, cultural amenities, employment opportunities, civic offerings, and recreation. The streets are well connected and for the most part, daily needs can be obtained on foot, by bike, or by car. While new development cannot replicate the treasured Historic character of these neighborhoods, they do provide a model and inspiration for what new development and future investments in San Marcos can strive to achieve.	75	Many of San Marcos' original neighborhoods, especially those closest to Downtown, benefit from access to shops, restaurants, cultural amenities, employment opportunities, civic offerings, and recreation. The streets are well connected and for the most part, daily needs can be obtained on foot, by bike, or by car. <u>New development can benefit from modelling and drawing inspiration from</u> <del>While new development cannot replicate the treasured Historic character of these neighborhoods, they do provide a model and inspiration for what new development and future investments in San Marcos can strive to achieve.</del>	67	Notable	

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94.	<b>COMMUNITY PRIORITIES AND OVERLAYS</b> As San Marcans articulated the desire to learn from the DNA of the oldest parts of the community, they also expressed a strong desire to minimize the impacts of new development on historic, cultural, and environmental assets.	76	<b>COMMUNITY PRIORITIES AND OVERLAYS</b> <del>As San Marcans articulated the desire to learn from the DNA of the oldest parts of the community, they also</del> <u>Residents</u> expressed a strong desire to minimize the impacts of new development on <u>established neighborhoods</u> , historic, cultural, and environmental assets.	68	Notable	
95.	For scenario planning, a maximum of 50% of areas within the environmental overlay were “developed” with allocations of housing and jobs. In addition, high level land use and land use intensity were assigned strategically to minimize the amount of land within the environmental overlay necessary to accommodate projected development.	77	For scenario planning, a maximum of 50% of areas within the environmental overlay were “developed” with allocations of housing and jobs. In addition, high level land use and land use intensity were assigned strategically to minimize the amount of land within the <del>environmental</del> overlays necessary to accommodate projected development.	69	Stylistic	
96.	<b>HIGH-LEVEL LAND USE</b> Building on the previous Comprehensive Plan, the scenario planning process utilized a simplified set of high-level land uses in an attempt to strike a balance between providing direction and flexibility for future land use.	78	<b>HIGH-LEVEL LAND USE</b> <del>Building on the previous Comprehensive Plan, the</del> scenario planning process utilized a simplified set of high-level land uses in an attempt to strike a balance between providing direction and flexibility for future land use.	70	Stylistic	
97.	<b>Neighborhood:</b> ... While the majority of these areas should focus on housing, the best versions of the Neighborhood High-level land use category include strategically located commercial, cultural, and recreational uses.	78	<b>Neighborhood:</b> ... While the majority of these areas should focus on housing, <del>the best versions of</del> the Neighborhood High-level land use category <u>may also</u> include strategically located commercial, cultural, and recreational uses.	70	Stylistic	
98.	<b>Mixed Use:</b> ... Sometimes these uses will be stacked within individual buildings, but often they will be located adjacent to one another with building use seemingly changing from one structure to the next.	78	<b>Mixed Use:</b> ... Sometimes these uses will be stacked within individual buildings, but often they will be located adjacent to one another with building use <u>seemingly seamlessly</u> changing from one structure to the next.	70	Stylistic	

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99.	<b>Conservation/Reserve:</b> ... These areas are intended to include minimal development during the life of the Comprehensive Plan.	78	<b>Conservation/Reserve:</b> ... These areas are intended to include minimal development <del>during the life of the Comprehensive Plan.</del>	70	Stylistic	
100.	<b>Low Intensity:</b> Low Intensity areas are generally lower in scale and have a lower proportion of the land area covered by buildings. In the case of Neighborhoods, this is generally reflected in detached and attached single family and smaller scale multiplex development. Accessory Dwelling Units fit within Low Intensity residential areas.	79	<b>Low Intensity:</b> Low Intensity areas are generally lower in scale and have a lower proportion of the land area covered by buildings. In the case of Neighborhoods, this is generally reflected in detached and attached single family, <del>and smaller scale multiplex development. Accessory Dwelling Units fit within Low Intensity residential areas.</del>	71	Stylistic	
101.	<b>Medium Intensity:</b> Medium Density areas typically have taller buildings in closer proximity to each other than Low Intensity areas. In Neighborhoods, the Medium Density largely includes small to medium scale attached homes and multifamily residential products. In Mixed Use and Commercial/Employment areas, Medium Density typically includes 3-5 story development in a more urban format with buildings near or attached to each other.	79	<b>Medium Intensity:</b> Medium <del>Density</del> <u>Intensity</u> areas typically have taller buildings in closer proximity to each other than Low Intensity areas. In <del>N</del> neighborhoods, the Medium <del>Intensity</del> <u>Density</u> largely includes small to medium scale attached homes and multifamily residential products. In Mixed Use and Commercial/Employment areas, Medium <del>Intensity</del> <u>Density</u> typically includes <del>3-5</del> story development in a more urban format with buildings near or attached to each other.	71	Stylistic	
102.	<b>High Intensity:</b> High intensity areas are intended to reflect the tallest and/or most closely situated development in San Marcos. Most simply put, High Intensity areas include the most development per acre. The result in residential areas are taller buildings typically requiring elevators that are closely situated to each other.	79	<b>High Intensity:</b> High intensity areas are intended to reflect the tallest and/or most closely situated development <del>in San Marcos. Most simply put,</del> High Intensity areas include the most development per acre. The result in residential areas are taller buildings <del>that</del> typically requiring <del>ing</del> elevators <del>and that</del> are closely situated to each other.	71	Stylistic	
103.	<b>PLACE TYPES</b> Most comprehensive planning documents provide direction for future growth through only a land use map. Future land use, which informs parcel-based zoning, does not give guidance on the aspects of place like building	80	<b>PLACE TYPES</b> Most comprehensive planning documents provide direction for future growth through only a land use map. Future land use, which informs parcel-based zoning, does not give guidance on the aspects of place like building form, streets, multi- modal	72	Notable	

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	form, streets, multi-modal facilities and connections, and open space, that make it comfortable for those who use it. To achieve the goal of truly Complete Communities, the Vision SMTX Comprehensive Plan introduces Place Types, which provide direction beyond just land use at the parcel level. A Place Type thinks about a place more holistically and at a larger scale, incorporating guidance for land use, transportation, layout, design, and more. A Place Typology defines a set of Places that are unique and authentic to the community and its needs. Utilizing combinations of High-Level Land Use and Intensity (both described above), a set of nine Place Types were developed through the planning process, including:		facilities and connections, and open space, <del>that make it comfortable for those who use it. To achieve the goal of truly Complete Communities, t</del> he Vision SMTX Comprehensive Plan introduces Place Types, which provide direction beyond just land use at the parcel level. A Place Type <del>thinks about</del> <u>assesses</u> a place more holistically and at a larger scale, incorporating guidance for land use, transportation, layout, design, and more. A <del>P</del> place <del>T</del> ypology defines a set of <del>P</del> places that are unique and authentic to the community and its needs. Utilizing combinations of High-Level Land Use and Intensity <del>(both described above)</del> , a set of <del>nine</del> Place Types <del>were was</del> developed through the planning process, including:			
104.	<ul style="list-style-type: none"> <li>• Neighborhood Low</li> <li>• Neighborhood Medium</li> <li>• Neighborhood High</li> <li>• Neighborhood Transition</li> <li>• Mixed Use Low</li> <li>• Mixed Use Medium</li> <li>• Commercial/Employment Low</li> <li>• Commercial/Employment Medium</li> <li>• Conserve/Reserve</li> </ul>	80	<p><u>Provide a short description of each place type here:</u></p> <ul style="list-style-type: none"> <li>• Neighborhood Low</li> <li>• Neighborhood Medium</li> <li>• Neighborhood High</li> <li>• Neighborhood Transition</li> <li>• Mixed Use Low</li> <li>• Mixed Use Medium</li> <li>• Commercial/Employment Low</li> <li>• Commercial/Employment Medium</li> <li>• Conserve/Reserve <u>(rename)</u></li> </ul> <p><u>Note: Mixed Use High and Commercial/Employment High Place Types are not included because the high-level land use and intensity are not appropriate for San Marcos.</u></p>	72	Notable	<p>Staff recommends the following text to address the subcommittee direction. If “Conserve/Reserve” is renamed, the name shall change in all instances throughout the plan.</p> <ul style="list-style-type: none"> <li>• <b>Neighborhood Low</b> – <u>primarily low density single-family neighborhoods.</u></li> <li>• <b>Neighborhood Medium</b> – <u>a mix of low to medium density residential housing types.</u></li> <li>• <b>Neighborhood High</b> – <u>primarily high density housing types with some commercial.</u></li> <li>• <b>Neighborhood Transition</b> – <u>small scale commercial, mixed use, and some diverse housing types.</u></li> <li>• <b>Mixed Use Low</b> – <u>small scale mixed use.</u></li> </ul>

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						<ul style="list-style-type: none"> <li>• <b>Mixed Use Medium</b> – <u>higher density, larger scale mixed use.</u></li> <li>• <b>Commercial/Employment Low</b> – <u>auto-oriented, low density industrial, retail, and office.</u></li> <li>• <b>Commercial/Employment Medium</b> – <u>office, commercial, and campus (medical, education, etc.) uses.</u></li> <li>• <del>Conserve/Reserve</del><b>Conservation/Cluster</b> – <u>a place holder for potential clustered development and/or protection of environmental features.</u></li> </ul>
105.	<b>COMPONENTS OF PLACE TYPES</b> Each of the nine Place Types is depicted and described in the following section. Before presenting each, it is important to understand the organization and approach to articulating the unique combinations of high-level land use and land use intensity that comprise the nine Place Types. <b>Overview:</b> Each Place Type includes an overall objective and description. The overview also includes a handful of summary characteristics related to land use, built form, mobility, and amenities.	81	<b>COMPONENTS OF PLACE TYPES</b> Each of the <del>nine</del> Place Types is depicted and described in the following section. Before presenting each, it is important to understand the organization and approach to articulating the unique combinations of high-level land use and land use intensity that comprise the <del>nine</del> Place Types. <b>Overview:</b> Each Place Type includes an overall objective and description. The overview also includes <del>a handful of summary</del> characteristics related to land use, built form, mobility, and amenities.	73	Stylistic	
106.		81	<del>It must be noted however, that proposed changes are general in nature.</del> <u>The completion of Area plans and Neighborhood Character Studies may not support or recommend some types of infill development.</u>	73	Notable	



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107.	<p><b>Existing and Proposed Models:</b> The next component of the Place Types is a graphic depiction of the types of places that exist today in San Marcos and a similar illustration of the aspirational expression of the Place Type. While much of the growth in housing units and employment will be accommodated with new development, it was important to explore how existing places can improve to better achieve the vision and goals of the Plan.</p> <p><b>Place Type Highlights:</b> The Existing and Proposed models are followed with an annotated version of the proposed Place Type highlighting key features and relationships. While it is highly unlikely that any development will look just like the proposed Place Type illustration, the graphic depictions should be used as a guide and inspiration to achieve the larger and more nuanced objectives and intent for each type of place.</p>	81	<p><u><b>MOVE ALL PLACE TYPE GRAPHICS TO THE APPENDIX.</b></u></p> <p><b>Existing and Proposed Models:</b> <del>The next component of the Place Types</del><u>Located within the Appendix</u> is a graphic depiction of the types of places that exist today in San Marcos and a similar illustration of the aspirational expression of the Place Type. While much of the growth in housing units and employment will be accommodated with new development, it was important to explore how existing places can improve to better achieve the vision and goals of the Plan.</p> <p><b>Place Type Highlights:</b> <u>Located within the Appendix,</u> <del>t</del>The Existing and Proposed models are followed with an annotated version of the proposed Place Type highlighting key features and relationships. While it is highly unlikely that any development will look just like the proposed Place Type illustration, the graphic depictions should be used as a guide and inspiration to achieve the larger and more nuanced objectives and intent for each type of place.</p>	74	Notable	<p>All Place Type graphics were moved to the Appendix in the Alternate Draft. To address the subcommittee redlines, staff added text to the paragraphs referencing the appendix.</p> <p>Staff recommends keeping the place type graphics in the Plan rather than the Appendix. The visuals are a useful tool when talking to the community about the envisioned place type. To address subcommittee concerns, staff recommends the following:</p> <ul style="list-style-type: none"> <li>- Revise “Proposed” to “New” in this section and within the graphic labels to clarify that they graphics are aspirational, illustrative, and do not represent requirements or city-initiated changes to properties.</li> <li>- Revise the Neighborhood Low place type graphics to create examples of existing and new places in accordance with subcommittee discussions.</li> </ul>
108.	<p><b>NEIGHBORHOOD LOW</b></p> <p><i>To recognize existing neighborhoods which are primarily single family detached housing, guide development of new “traditional neighborhoods”, and promote a thoughtful introduction of other housing types in these areas in ways that maintain their character</i></p>	84	<p><b>NEIGHBORHOOD LOW</b></p> <p><i>To recognize existing neighborhoods which are primarily single family detached housing and <del>promote thoughtful introduction of other types in existing areas that maintaining</del> their character. In new neighborhoods, more creative application of diverse housing types is encouraged.</i></p>	76	Notable	
109.	<p>The Neighborhood Low Place Type is an aspirational version of what most people likely picture when they think of a residential neighborhood in a smaller community. In order for San Marcos to achieve many of the</p>	84	<p>The Neighborhood Low Place Type <u>includes primarily detached single-family housing, however, many existing neighborhoods in San Marcos include a mix of additional building types, including townhomes, duplexes, and a few accessory dwelling units.</u> <del>is an</del></p>	76	Notable	

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	goals related to high quality environmental assets and open spaces and the desire for a more connected community, Neighborhood Low places should integrate additional housing options, multimodal transportation connections, a small degree of commercial development within or nearby, recreational opportunities, and water quality features. Neighborhood Low areas include opportunities for greater housing diversity that should include accessory dwelling units (ADUs), small multiplexes such as a duplex, and certain attached single-family products that do not represent a significant departure from the scale, bulk and massing of the predominant building forms.		<del>aspirational version of what most people likely picture when they think of a residential neighborhood in a smaller community. In order for San Marcos to To achieve many of the goals expressed by the community related to high quality environmental assets and open spaces and the desire for a more connected community, Neighborhood Low places should consider integrating additional housing options, multimodal transportation connections, a small degree of commercial development within or nearby, recreational opportunities, and water quality features. In existing neighborhoods, land uses within Neighborhood Low should be consistent in scale, bulk, massing, and character of predominant building forms in the area. Adopted Area Plans, as applicable, will provide guidance for new development, if proposed. Within new areas, Neighborhood Low places are encouraged to have creativity and flexibility in design and provide a mix of land uses. Neighborhood Low areas include opportunities for greater housing diversity that should include accessory dwelling units (ADUs), small multiplexes such as a duplex, and certain attached single-family products that do not represent a significant departure from the scale, bulk and massing of the predominant building forms.</del>			
110.	<p><b>Land Use:</b> Primarily detached single-family residential with ADUs, attached single-family residential, small-scale commercial, and civic/cultural uses</p> <p><b>Built Form:</b> Generally, 1-2 story development set back from the street with side and back yards. Some Neighborhood Low areas may have alleys with garages in the rear of housing; the typical density of these areas is 3-7 units per acre</p> <p><b>Mobility:</b> A well-connected network of walkable, local streets providing strong linkages within the Place Type and to</p>	84	<p><b>Land Use:</b> Primarily detached single-family residential, <u>perhaps</u> with ADUs, attached single-family residential, small-scale commercial, and civic/cultural uses</p> <p><b>Built Form:</b> Generally, 1-2 story development set back from the street with side and back yards. Some Neighborhood Low areas may have alleys with garages in the rear of housing; <del>t.</del> The typical density of these areas is 3-7 units per acre</p> <p><b>Mobility:</b> A well-connected network of <u>walkable</u>, local streets providing strong linkages within the Place Type and to surrounding areas with transit on key corridors</p>	77	Stylistic	

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	surrounding areas with transit on key corridors					
111.	<p>Existing locations of Neighborhood Low contain primarily low-density, single-family residences with limited additional uses. Community or Institutional uses, such as schools or public services, may be present in the neighborhood. Riverfronts, creeks, and major roadway frontages are typically underutilized.</p> <p>To create a better connected and lively neighborhood, the neighborhood should include a mix of housing options such as detached single-family homes, townhomes, and ADUs. In addition to more dwelling units and housing options, small-scale commercial development in strategic locations serving the neighborhood should be included.</p>	84	<p><u>Existing areas with Neighborhood Low are comprised of primarily low density, single family residences with limited additional uses. These existing areas may include some community or institutional uses such as schools or public services, and may be adjacent to creeks, waterways, or major roads that could present opportunities for enhanced trails or parks. Less developed or new areas of Neighborhood Low may include some housing and commercial uses and may include vacant land. However, dedicated trails and parks may be lacking.</u></p> <p><u>Aspirations in existing developed areas of Neighborhood Low could include a gentle mix of new housing types as well as some small-scale commercial in strategic locations. In addition, enhancements to trails or sidewalks can better connect the neighborhood. Adopted Area Plans should guide and direct this process. In new areas of Neighborhood Low, a diversity of housing types and appropriate uses should be encouraged to ensure new areas are well connected and offer a mix of uses.</u></p>	N/A	Notable	In conjunction with item #107, this has been moved to the appendix of the alternative draft.
112.	<div> <div>Fiscal Considerations</div> <ul style="list-style-type: none"> <li>Net Positive Fiscal Impact (\$1,113 per acre, \$176 per new person)</li> <li>Higher tax revenue due to greater presence of single-family homes, but highest cost to serve (per new person) of all Place Types; generates largest increase in new streets to maintain</li> <li>Greater cost to serve if located far from existing fire stations, outside of Hays County, or outside existing water and sewer service areas</li> </ul> </div>	87	<div> <div>Fiscal Considerations</div> <ul style="list-style-type: none"> <li><del>Net Positive Fiscal Impact (\$1,113 per acre, \$176 per new person)</del></li> <li><del>Higher tax revenue due to greater presence of single-family homes, but Highest cost to serve (per new person) of all Place Types; generates largest increase in new streets to maintain</del></li> <li>Greater cost to serve if located far from existing fire stations, outside of Hays County, or outside existing water and sewer service areas</li> </ul> </div>	77	Notable	

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113.	Overlay Characteristics/Considerations	87	Overlay Characteristics/Considerations	77	Notable	Staff recommends changing the language to as follows:  <a href="#">“Clustered and Low Impact Development with impervious cover limited to 0-50% of land area depending on proximity to protected environmental features and the Edwards Aquifer.”</a>			
	<table><tr><td>Historic Resource</td><td>Adpative reuse, additions and new development should be contextually sensitive</td></tr><tr><td>Environmental</td><td>Clustered and Low Impact Development with overall development limited to 50% of land area</td></tr></table>		Historic Resource				Adpative reuse, additions and new development should be contextually sensitive	Environmental	Clustered and Low Impact Development with overall development limited to 50% of land area
Historic Resource	Adpative reuse, additions and new development should be contextually sensitive								
Environmental	Clustered and Low Impact Development with overall development limited to 50% of land area								
Historic Resource	<a href="#">Adpative-Adaptive</a> reuse, additions and new development should be contextually sensitive								
Environmental	Clustered and Low Impact Development with overall development limited to 50% of land area <a href="#">[Change to whatever is in the LDC now]</a>								
114.	<b>NEIGHBORHOOD MEDIUM</b> <i>To recognize existing neighborhoods which are primarily attached single family and multi-family housing and to guide the development of new medium density neighborhoods that are better connected to amenities, goods, and services.</i>	88	<b>NEIGHBORHOOD MEDIUM</b> <i>To recognize existing neighborhoods which are primarily attached single family and multi-family housing and to guide the development of new medium density neighborhoods that are <del>better</del> connected to amenities, goods, and services.</i>	78	Stylistic				
115.	The neighborhood medium Place Type can take multiple forms, but generally includes a combination of townhomes or rowhouses, smaller apartment and condominium buildings, accessory dwelling units (ADUs), and some mixed use commercial development. While some Neighborhood Medium places may continue to be more auto-oriented, even those developments should better integrate connectivity to surrounding areas, water quality features and other amenities. Rather than being their own isolated communities, measures should be taken to complement and strengthen the larger community areas where they are located. Ideally, Neighborhood Medium areas should be highly walkable with well-designed circulation and ground floors that engage with the streets and development nearby, as well as enhance the pedestrian experience.	88	The <del>a</del> Neighborhood <del>m</del> Medium Place Type <del>can take multiple forms, but generally</del> includes a combination of townhomes <del>or rowhouses</del> , smaller apartment and condominium buildings, accessory dwelling units (ADUs), and some mixed use commercial development. While some Neighborhood Medium places may <del>continue to be more</del> auto-oriented, <del>even those developments they</del> should better integrate connectivity to surrounding areas, water quality features and other amenities. <del>Rather than being their own isolated communities, measures should be taken to complement and strengthen Neighborhood Medium should be integrated with and complement</del> the larger community areas where they are located. <del>Ideally,</del> Neighborhood Medium areas should be highly walkable with well-designed circulation and ground floors that engage with the streets and development nearby, as well as enhance the pedestrian experience.	78	Stylistic				
116.	<b>Land Use:</b> Primarily attached single-family residential development, ADUs, low to medium- scale multifamily residential with some mixed use commercial	88	<b>Land Use:</b> Primarily attached single-family residential development, <del>ADUs,</del> low to medium- scale multifamily residential, with some mixed use commercial	78	Notable	Staff recommends revising the text to state “perhaps ADUs” for consistency with other sections of the plan.			

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
117.	<b>Mobility:</b> Strong connections to surrounding areas; ideally with a well-connected network of walkable, local streets, but potentially with internally focused pathways and private shared access drives with transit provided on key corridors	88	<b>Mobility:</b> <del>Strong e</del> Connections to surrounding areas; <del>ideally</del> with a well-connected network of walkable, local streets, <del>but potentially</del> with internally focused pathways and private shared access drives with transit provided on key corridors	78	Stylistic	
118.	<p>Existing locations of Neighborhood Medium tend to include small concentrations of townhomes and/ or multifamily residences intermixed with housing types more typical of Neighborhood Low areas. Neighborhood Medium development tends to take the form of “walk-up” or garden-style apartments whereby small-scale apartment buildings sit in the middle of surface parking lots. Riverfronts, creeks, and major roadway frontages are typically underutilized.</p> <p>To achieve a more connected and walkable neighborhood that helps to fill the “missing middle” or diverse housing options in the community, a more cohesive development pattern should be encouraged in terms of the size and scale of housing types, as well as the relationship that the Neighborhood Medium structures have to each other. Parks, plazas, greenways, and trails should be integrated to strengthen the sense of community and quality of life for residents and visitors to the area. Riverfronts and street frontages are better utilized with building facades along the street edge, trails, and public spaces.</p>	89	<p><del>Existing locations of Neighborhood Medium tend to include small concentrations of townhomes and/ or multifamily residences intermixed with housing types more typical of Neighborhood Low areas. Neighborhood Medium development tends to take the form of “walk-up” or garden-style apartments whereby small-scale apartment buildings sit in the middle of surface parking lots. Riverfronts, creeks, and major roadway frontages are typically underutilized.</del></p> <p><del>To achieve a more connected and walkable neighborhood that helps to fill the “missing middle” or diverse housing options in the community, a more cohesive development pattern should be encouraged in terms of the size and scale of housing types, as well as the relationship that the Neighborhood Medium structures have to each other. Parks, plazas, greenways, and trails should be integrated to strengthen the sense of community and quality of life for residents and visitors to the area. Riverfronts and street frontages are better utilized with building facades along the street edge, trails, and public spaces.</del></p>	n/a	Notable	In conjunction with item #107, this has been moved to the appendix of the alternative draft.



Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
119.	<div>Primary Land Uses</div> <ul style="list-style-type: none"> <li>Attached Single-Family Residential</li> <li>Accessory Dwelling Units</li> <li>Low to Medium-Scale Multifamily Residential</li> </ul> <div>Parks and Open Space</div> <ul style="list-style-type: none"> <li>...</li> <li>Pockets Parks and Plazas to help activate smaller interstitial spaces and provide opportunities for placemaking elements</li> <li>...</li> </ul> <div>Desirable Transitions</div> <ul style="list-style-type: none"> <li>Mixed Use Medium Commercial/Employment Medium</li> <li>Mixed Use Low Density Neighborhood</li> <li>Higher Density Neighborhood Transition</li> </ul> <div>Fiscal Consideration</div> <ul style="list-style-type: none"> <li>Net Positive Fiscal Impact (\$1,669 per acre, \$219 per new person)</li> <li>...</li> </ul>	91	<div>Primary Land Uses</div> <ul style="list-style-type: none"> <li>Attached Single-Family Residential</li> <li><del>Accessory Dwelling Units</del></li> <li>Low to Medium-Scale Multifamily Residential</li> </ul> <div>Parks and Open Space</div> <ul style="list-style-type: none"> <li>...</li> <li>Pockets Parks and Plazas to help activate smaller <del>interstitial</del> spaces and provide opportunities for placemaking elements</li> <li>...</li> </ul> <div>Desirable Transitions</div> <ul style="list-style-type: none"> <li>Mixed Use Medium Commercial/Employment Medium</li> <li>Mixed Use Low Density Neighborhood</li> <li><del>Higher Density Neighborhood Transition</del></li> </ul> <div>Fiscal Consideration</div> <ul style="list-style-type: none"> <li><del>Net Positive Fiscal Impact (\$1,669 per acre, \$219 per new person)</del></li> <li>...</li> </ul>	79	Notable	Staff recommends moving "Accessory Dwelling Units" to the Secondary Land Uses rather than removing it from the Place Type.
120.	<b>NEIGHBORHOOD HIGH</b> <i>To guide the development of moderate to higher intensity housing types to meet a range of housing needs in proximity to medium and high intensity mixed use centers. They require Adequate transportation facilities to connect residents to jobs and services.</i>	92	<b>NEIGHBORHOOD HIGH</b> <i>To guide the development of moderate to higher intensity housing types to meet a range of housing needs in proximity to medium and high intensity mixed use centers. <del>They require</del> Adequate transportation facilities <u>are required</u> to connect residents to jobs and services.</i>	80	Stylistic	
121.	<b>Built Form:</b> Generally 5 story development that is oriented to the surrounding streets with minimal setbacks; parking tends to be structured with some smaller off-street parking lots; the typical density of these areas is 12+ units per acre	92	<b>Built Form:</b> Generally <u>4-5</u> story development that is oriented to the surrounding streets with minimal setbacks; parking tends to be structured with some smaller off-street parking lots; the typical density of these areas is 12+ units per acre	80	Stylistic	
122.	Existing locations of Neighborhood High development tend to be auto-oriented in nature with buildings set back from the street with surface parking lots primarily fronting the street. Amenities such as playgrounds or open areas tend to be entirely private and intended only for residents. Most Neighborhood High areas, especially those downtown and in other areas close to campus, are mainly for-rent developments that cater to students and some young	93	<del>Existing locations of Neighborhood High development tend to be auto-oriented in nature with buildings set back from the street with surface parking lots primarily fronting the street. Amenities such as playgrounds or open areas tend to be entirely private and intended only for residents. Most Neighborhood High areas, especially those downtown and in other areas close to campus, are mainly for-rent developments that cater to students and some young professionals. In addition, nearby commercial</del>	n/a	Notable	In conjunction with item #107, this has been moved to the appendix of the alternative draft.

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments												
	<p>professionals. In addition, nearby commercial amenities tend to be limited with the exception of downtown.</p> <p>The ideal Neighborhood High development should be a mostly self-sufficient area with plentiful housing options, well-situated shopping and dining options, walkable streets, and well-integrated recreational amenities. The place type provides an opportunity for a large number of residents to live in close proximity to a concentration of amenities and services. When strategically located with good transitions in land use and intensity, the Neighborhood High Place Type is an important component to accommodating projected residential growth in San Marcos in a manner that helps preserve and conserve natural areas and land in agricultural use.</p>		<p><del>amenities tend to be limited with the exception of downtown.</del></p> <p><del>The ideal Neighborhood High development should be a mostly self-sufficient area with plentiful housing options, well-situated shopping and dining options, walkable streets, and well-integrated recreational amenities. The place type provides an opportunity for a large number of residents to live in close proximity to a concentration of amenities and services. When strategically located with good transitions in land use and intensity, the Neighborhood High Place Type is an important component to accommodating projected residential growth in San Marcos in a manner that helps preserve and conserve natural areas and land in agricultural use.</del></p>															
123.	<table><tr><td><b>Parks and Open Space</b></td><td><ul style="list-style-type: none"><li>...</li><li>Pockets Parks and Plazas to help activate smaller interstitial spaces and provide opportunities for placemaking elements</li><li>...</li></ul></td></tr><tr><td><b>Desirable Transitions</b></td><td><ul style="list-style-type: none"><li>Mixed Use Medium</li><li>Commercial/Employment Medium</li><li>Medium Density Neighborhood</li></ul></td></tr><tr><td><b>Fiscal Considerations</b></td><td><ul style="list-style-type: none"><li>Net Positive Fiscal Impact (\$3,348 per acre, \$220 per new person)</li><li>Most efficient Place Type in terms of infrastructure demand ; generates highest concentration of potential service needs</li><li>...</li></ul></td></tr></table>	<b>Parks and Open Space</b>	<ul style="list-style-type: none"><li>...</li><li>Pockets Parks and Plazas to help activate smaller interstitial spaces and provide opportunities for placemaking elements</li><li>...</li></ul>	<b>Desirable Transitions</b>	<ul style="list-style-type: none"><li>Mixed Use Medium</li><li>Commercial/Employment Medium</li><li>Medium Density Neighborhood</li></ul>	<b>Fiscal Considerations</b>	<ul style="list-style-type: none"><li>Net Positive Fiscal Impact (\$3,348 per acre, \$220 per new person)</li><li>Most efficient Place Type in terms of infrastructure demand ; generates highest concentration of potential service needs</li><li>...</li></ul>	94	<table><tr><td><b>Parks and Open Space</b></td><td><ul style="list-style-type: none"><li>...</li><li>Pockets Parks and Plazas to help activate smaller <del>interstitial</del> spaces and provide opportunities for placemaking elements</li><li>...</li></ul></td></tr><tr><td><b>Desirable Transitions</b></td><td><ul style="list-style-type: none"><li>Mixed Use Medium</li><li>Commercial/Employment Medium</li><li><del>Medium Density</del>-Neighborhood <u>Medium</u></li></ul></td></tr><tr><td><b>Fiscal Considerations</b></td><td><ul style="list-style-type: none"><li><del>Net Positive Fiscal Impact (\$3,348 per acre, \$220 per new person)</del></li><li>Most efficient Place Type in terms of infrastructure demand <u>for housing</u>; generates highest concentration of potential service needs</li><li>...</li></ul></td></tr></table>	<b>Parks and Open Space</b>	<ul style="list-style-type: none"><li>...</li><li>Pockets Parks and Plazas to help activate smaller <del>interstitial</del> spaces and provide opportunities for placemaking elements</li><li>...</li></ul>	<b>Desirable Transitions</b>	<ul style="list-style-type: none"><li>Mixed Use Medium</li><li>Commercial/Employment Medium</li><li><del>Medium Density</del>-Neighborhood <u>Medium</u></li></ul>	<b>Fiscal Considerations</b>	<ul style="list-style-type: none"><li><del>Net Positive Fiscal Impact (\$3,348 per acre, \$220 per new person)</del></li><li>Most efficient Place Type in terms of infrastructure demand <u>for housing</u>; generates highest concentration of potential service needs</li><li>...</li></ul>	81	Notable	
<b>Parks and Open Space</b>	<ul style="list-style-type: none"><li>...</li><li>Pockets Parks and Plazas to help activate smaller interstitial spaces and provide opportunities for placemaking elements</li><li>...</li></ul>																	
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124.	<p><b>NEIGHBORHOOD TRANSITION</b></p> <p><i>To provide appropriate transitions between mixed use, non-residential place types and neighborhood place types. Transitions should be achieved in the form of both use and built form.</i></p>	96	<p><b>NEIGHBORHOOD TRANSITION</b></p> <p><i>To provide appropriate transitions between mixed use, non-residential place types and neighborhood place types. Transitions should be achieved in the form of both use and built form.</i></p>	82	Notable													

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
	Even with the three intensities applied to the Neighborhood high level land use, the transition from one place type to the next can sometimes be jarring and lead to visual and other conflicts. The Neighborhood Transition Place Type is intended to provide a more gradual transition to Neighborhood Medium and Neighborhood Low areas in terms of development form and land use between higher intensity neighborhoods and non-residential place types. The Place Type borrows elements from the adjoining neighborhoods to provide more desirable adjacencies for people living near more intense and/or active areas.		<del>Even with the three intensities applied to the Neighborhood high level land use, the transition from one place type to the next can sometimes be jarring and lead to visual and other conflicts.</del> The Neighborhood Transition Place Type is intended to provide a more gradual transition to Neighborhood Medium and Neighborhood Low areas in terms of development form and land use <del>between higher intensity neighborhoods and non-residential place types</del> . The Place Type borrows elements from the adjoining neighborhoods to provide more desirable adjacencies for people living near more intense and/or active areas.			
125.	<b>Land Use:</b> One or more of small-scale commercial uses, mixed use, live-work (where someone has a designated work space in the same structure as their residence), and townhomes or multiplexes. Not all people working in these places will be residents of San Marcos	96	<b>Land Use:</b> One or more of small-scale commercial uses, mixed use, live-work (where <del>someone a</del> <u>resident</u> has a designated work space in the same structure as their residence), and townhomes or multiplexes.	82	Stylistic	
126.	<b>Mobility:</b> The transition areas are typically long and narrow and often located along collectors and arterials; streets should accommodate all modes of transportation with amenities for bikes and transit	96	<b>Mobility:</b> <del>The t</del> Transition areas are typically long and narrow and often located along collectors and arterials; streets should accommodate all modes of transportation with amenities for bikes and transit.	82	Stylistic	
127.	Neighborhood Transition areas that exist in San Marcos today often feel like a “hodge podge” of uses or a “no man’s land.” As these areas tend to lack a strong identity, it is often difficult to delineate where a Neighborhood Transition place starts and stops. In fact, these areas typically feel like the frayed edges of the neighborhoods and districts nearby. In certain instances, a higher intensity area may appear to loom over or even encroach on lower intensity neighborhoods nearby.	97	<del>Neighborhood Transition areas that exist in San Marcos today often feel like a “hodge podge” of uses or a “no man’s land.” As these areas tend to lack a strong identity, it is often difficult to delineate where a Neighborhood Transition place starts and stops. In fact, these areas typically feel like the frayed edges of the neighborhoods and districts nearby. In certain instances, a higher intensity area may appear to loom over or even encroach on lower intensity neighborhoods nearby.</del> As Neighborhood Transition areas develop with stronger policy and regulatory guidance, there will be	n/a	Notable	In conjunction with item #107, this has been moved to the appendix of the alternative draft.

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments																
	As Neighborhood Transition areas develop with stronger policy and regulatory guidance, there will be a more incremental transition in terms of intensity and land use from one area to another. Higher intensity multi-family housing, mixed use development and commercial development should transition to lower intensity mixed use, commercial and residential development. The heights of buildings should decrease within the Neighborhood Transition areas as they approach lower intensity Neighborhoods. Ideally, the height, lot coverage, and setbacks within the Neighborhood Transition area are approaching or matching the lower intensity Neighborhood where the two different areas meet.		<del>a more incremental transition in terms of intensity and land use from one area to another. Higher intensity multi-family housing, mixed use development and commercial development should transition to lower intensity mixed use, commercial and residential development. The heights of buildings should decrease within the Neighborhood Transition areas as they approach lower intensity Neighborhoods. Ideally, the height, lot coverage, and setbacks within the Neighborhood Transition area are approaching or matching the lower intensity Neighborhood where the two different areas meet</del>																			
128.	<table><tr><td>Mobility Characteristics</td><td>... Wide sidewalks;</td></tr><tr><td>Parks and Open Space</td><td>... Pockets Parks and Plazas to help activate smaller interstitial spaces and provide opportunities for placemaking elements</td></tr><tr><td>Desirable Transitions</td><td>Lower Density Neighborhood • Medium Density Neighborhood • Mixed Use Low • Mixed Use Medium</td></tr><tr><td>Fiscal Considerations</td><td>Limited future development potential within transition locations Fiscal impact dependent on uses and intensity of development</td></tr></table>	Mobility Characteristics	... Wide sidewalks;	Parks and Open Space	... Pockets Parks and Plazas to help activate smaller interstitial spaces and provide opportunities for placemaking elements	Desirable Transitions	Lower Density Neighborhood • Medium Density Neighborhood • Mixed Use Low • Mixed Use Medium	Fiscal Considerations	Limited future development potential within transition locations Fiscal impact dependent on uses and intensity of development	99	<table><tr><td>Mobility Characteristics</td><td>... Wide sidewalks;</td></tr><tr><td>Parks and Open Space</td><td>... Pockets Parks and Plazas to help activate smaller interstitial spaces and provide opportunities for placemaking elements</td></tr><tr><td>Desirable Transitions</td><td><del>Lower Density</del>-Neighborhood <u>Low</u> • <del>Medium Density</del>-Neighborhood <u>Medium</u> • Mixed Use Low • Mixed Use Medium</td></tr><tr><td>Fiscal Considerations</td><td>Limited future development potential within transition locations_ Fiscal impact dependent on uses and intensity of development</td></tr></table>	Mobility Characteristics	... Wide sidewalks;	Parks and Open Space	... Pockets Parks and Plazas to help activate smaller interstitial spaces and provide opportunities for placemaking elements	Desirable Transitions	<del>Lower Density</del> -Neighborhood <u>Low</u> • <del>Medium Density</del> -Neighborhood <u>Medium</u> • Mixed Use Low • Mixed Use Medium	Fiscal Considerations	Limited future development potential within transition locations_ Fiscal impact dependent on uses and intensity of development	83	Stylistic	
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129.	<b>MIXED USE LOW</b> <i>These areas are characterized by smaller commercial centers that are walkable and typically embedded in or near neighborhoods so that residents have convenient, safe, and equitable access to services.</i>	100	<b>MIXED USE LOW</b> <i>These areas are characterized by smaller commercial centers that are walkable and typically <del>embedded</del> in or near neighborhoods so <del>that</del> residents have convenient, safe, and equitable access to services.</i>	84	Stylistic																	

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
130.	It is less common, but mixed use low places may also include more traditional shopping centers that are smaller in scale and either curated or retrofitted to include a variety of uses (and potentially housing) that are attractive to nearby residents.	100	<del>It is less common, but m</del> Mixed use low places may also include <del>more</del> traditional shopping centers that are smaller in scale and <del>either curated or retrofitted</del> adapted to include a variety of uses (and potentially housing) that are attractive to nearby residents.	84	Stylistic	
131.	<b>Built Form:</b> Typically 2-4 stories, but sometimes lower scale at a single story; the height, orientation of buildings, and mix of uses is often determined by the surrounding context and character of adjacent roadways; the typical density is 8-15 housing units per acre and 10 jobs per acre with some housing potentially integrated.	100	<b>Built Form:</b> Typically 2-4 stories, but sometimes lower scale at a single story; the height, orientation of buildings, and mix of uses is often determined by the surrounding context and character of adjacent roadways; the typical density is 8-15 housing units per acre and 10 jobs per acre with some housing <u>included potentially integrated.</u>	84	Stylistic	
132.	Existing Mixed Use Low areas tend to be a collection of smaller single use areas with little to no relationship to each other. The lack of identity and organization often results in no real center of gravity for the collection of buildings and uses. In certain instances, the lack of a legible form may be exacerbated by a large number of off-street surface parking lots, making walking to or around the place challenging or undesirable. Connectivity infrastructure is also frequently poor between destinations within the mixed use low place unless you are driving. Mixed Use Low places in San Marcos should have a more legible form that is easy and inviting to navigate no matter how people choose to travel. Mixed Use Low places will provide attractive destinations and services within close proximity to other low to medium intensity places, including neighborhoods and commercial/employment areas. Parking is still provided by on-street options and off-street surfacing parking, but it is not the dominant feature with parking lots typically situated to the side or rear of	101	<del>Existing Mixed Use Low areas tend to be a collection of smaller single use areas with little to no relationship to each other. The lack of identity and organization often results in no real center of gravity for the collection of buildings and uses. In certain instances, the lack of a legible form may be exacerbated by a large number of off-street surface parking lots, making walking to or around the place challenging or undesirable. Connectivity infrastructure is also frequently poor between destinations within the mixed use low place unless you are driving. Mixed Use Low places in San Marcos should have a more legible form that is easy and inviting to navigate no matter how people choose to travel.</del> Mixed Use Low places will provide attractive destinations and services within close proximity to other low to medium intensity places, including neighborhoods and commercial/employment areas. Parking is still provided by on-street options and off-street surfacing parking, but it is not the dominant feature with parking lots typically situated to the side or rear of buildings. Smaller parks and plazas add to the sense of place within Mixed Use Low places.	n/a	Notable	In conjunction with item #107, this has been moved to the appendix of the alternative draft.



Item #	Vision SMTX		Pg#	Alternative Plan		Pg#	Type of Change	Staff Comments
	buildings. Smaller parks and plazas add to the sense of place within Mixed Use Low places.							
133.	<div>Primary Land Uses<ul style="list-style-type: none"><li>... Single Family Attached Housing</li></ul></div> <div>Mobility Characteristics<ul style="list-style-type: none"><li>... Mobility hub/s with transit connections embedded along or within Sidewalks along, within and connecting to Bike facilities typically connecting and parallel to</li></ul></div> <div>Parks and Open Space<ul style="list-style-type: none"><li>... Pockets Parks and Plazas to create seating and dining opportunities, activate smaller interstitial spaces, and provide opportunities for placemaking elements</li></ul></div> <div>Fiscal Considerations<ul style="list-style-type: none"><li>Net Positive Fiscal Impact (\$4,493 per acre, \$398 per new person) Generates greatest net positive impact (per acre and per new person) Limited potential for growth in this Place Type</li></ul></div>	103	<div>Primary Land Uses<ul style="list-style-type: none"><li>... Single Family Attached Housing</li></ul></div> <div>Mobility Characteristics<ul style="list-style-type: none"><li>... Mobility hub/s with transit connections embedded along or within Sidewalks along, within and connecting to ??? Bike facilities typically connecting and parallel to ???</li></ul></div> <div>Parks and Open Space<ul style="list-style-type: none"><li>... Pockets Parks and Plazas to create seating and dining opportunities, activate smaller interstitial spaces, and provide opportunities for placemaking elements</li></ul></div> <div>Fiscal Considerations<ul style="list-style-type: none"><li>Net Positive Fiscal Impact (\$4,493 per acre, \$398 per new person) Generates greatest net positive impact (per acre and per new person) Limited potential for growth in this Place Type</li></ul></div>	85	Notable	Staff recommends adding “the area” in place of the question marks.		
134.	Mixed Use Medium places are a major element of the Preferred Growth Scenario described in more detail after the presentation of place types. They represent higher intensity places with a mix of housing, employment, shopping, dining, and entertainment. They are highly walkable and bikable with good access by transit and driving. With the exception of downtown, mixed use medium development is a bit of a departure from the status quo for San Marcos. Mixed Use Medium places distributed throughout the community will provide opportunities for people to live, work and play in one area or close by to the neighborhoods where most San Marcans will continue to live.		104	<del>Mixed Use Medium places are a major element of the Preferred Growth Scenario described in more detail after the presentation of place types. They represent</del> include higher intensity places with a mix of housing, employment, shopping, dining, and entertainment <del>which-They</del> are highly walkable and bikable with good access by transit and driving. <del>With the exception of downtown, mixed use medium development is a bit of a departure from the status quo for San Marcos.</del> Mixed Use Medium places distributed throughout the community will provide opportunities for people to live, work and play in <del>one area or close by to or near their the neighborhoods, where most San Marcans will continue to live.</del>		86	Notable	

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
135.	N/A	104	<u>Parking structures allow for less horizontal space dedicated to surface parking. Waterways/drainage areas and street frontages are better utilized with building facades along the street edge, trails, and public spaces.</u>	86	Notable	
136.	<b>Built Form:</b> Typically 4-8 stories with buildings situated closely together and engaging the street to create a series of active ground floor spaces and storefronts; depending on the location, parking will primarily be on-street or in parking structures, but some small off- street parking lots may exist; the typical density is 12+ dwelling units per acre and 25 jobs per acre	104	<b>Built Form:</b> Typically <u>4-8-3-5</u> stories with buildings situated closely together and engaging the street to create a series of active ground floor spaces and storefronts; depending on the location, parking will primarily be on-street or in parking structures, but some small off- street parking lots may exist; the typical density is 12+ dwelling units per acre and 25 jobs per acre	86	Notable	
137.	Existing locations of Mixed-Use Medium contain horizontal mixed use with primarily auto-oriented commercial buildings and multi-family housing, and small amounts of vertical mixed-use and other uses. While buildings are somewhat dense, a large portion of land is covered in surface parking lots and walkability is limited. Riverfronts, creeks, and major roadway frontages are typically underutilized.  To achieve a more connected and walkable neighborhood, the large commercial buildings and surface parking lots should be converted into dense, pedestrian-oriented, mixed-use buildings. The addition of small parks, plazas, and bike lanes adds amenities and walkability to the neighborhood.	105	<del>Existing locations of Mixed-Use Medium contain horizontal mixed use with primarily auto-oriented commercial buildings and multi-family housing, and small amounts of vertical mixed-use and other uses. While buildings are somewhat dense, a large portion of land is covered in surface parking lots and walkability is limited. Riverfronts, creeks, and major roadway frontages are typically underutilized.</del>  <del>To achieve a more connected and walkable neighborhood, the large commercial buildings and surface parking lots should be converted into dense, pedestrian-oriented, mixed-use buildings. The addition of small parks, plazas, and bike lanes adds amenities and walkability to the neighborhood. Parking structures allow for less horizontal space dedicated to surface parking. Waterways/ drainage areas and street frontages are better utilized with building facades along the street edge, trails, and public spaces.</del>	n/a	Notable	In conjunction with item #107, this has been moved to the appendix of the alternative draft.

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
138.	<div> <div>Parks and Open Space</div> <ul style="list-style-type: none"> <li>... Pockets Parks and Plazas on irregularly shaped lots or to help with water quality</li> <li>...</li> </ul> </div> <div> <div>Desirable Transitions</div> <ul style="list-style-type: none"> <li>Neighborhoods Medium</li> <li>Neighborhood High</li> <li>Mixed Use Low</li> <li>Commercial/Employment Medium</li> </ul> </div> <div> <div>Fiscal Considerations</div> <ul style="list-style-type: none"> <li>Net Positive Fiscal Impact (\$1,969 per acre, \$98 per new person)</li> <li>Generates most value and revenue per acre of all Place Types</li> <li>Denser concentration and variety of uses also requires a greater level of service</li> </ul> </div>	107	<div> <div>Parks and Open Space</div> <ul style="list-style-type: none"> <li>... Pockets Parks and Plazas on irregularly shaped lots or to help with water quality</li> <li>...</li> </ul> </div> <div> <div>Desirable Transitions</div> <ul style="list-style-type: none"> <li>• <a href="#">Neighborhood Transition</a></li> <li>Neighborhoods Medium</li> <li>Neighborhood High</li> <li>Mixed Use Low</li> <li>Commercial/Employment Medium</li> </ul> </div> <div> <div>Fiscal Considerations</div> <ul style="list-style-type: none"> <li>• <del>Net Positive Fiscal Impact (\$1,969 per acre, \$98 per new person)</del></li> <li>Generates most value and revenue per acre of all Place Types</li> <li>Denser concentration and variety of uses also requires a greater level of service</li> </ul> </div>	87	Notable	
139.	<b>COMMERCIAL/EMPLOYMENT LOW</b> <i>To facilitate lower density, more auto-oriented retail, office, and industrial type uses <del>that exist and may still be desired in certain locations in the future.</del></i>	108	<b>COMMERCIAL/EMPLOYMENT LOW</b> <i>To facilitate lower density, more auto-oriented retail, office, and industrial type uses <del>that exist and may still be desired in certain locations in the future.</del></i>	88	Stylistic	
140.	Commercial/Employment Low places comprise much of the non-residential areas of San Marcos today. They tend to include a variety of industrial uses, distribution, auto-oriented retail, and dining options, as well as lower intensity, single use and standalone office uses, including civic, medical, and educational. It is expected that many of these existing areas will not transition to another place during the life of the plan, but there may still be opportunities to make these places better connected and more desirable. ...	108	Commercial/Employment Low places comprise much of the non-residential areas of San Marcos today. They tend to include a variety of industrial uses, distribution, auto-oriented retail, and dining options, as well as lower intensity, single use and standalone office uses, including civic, medical, and educational. <del>It is expected that many of these existing areas will not transition to another place during the life of the plan, but there may still be opportunities to make these places better connected and more desirable.</del> ...	88	Notable	
141.	<div> <div>Primary Land Uses</div> <ul style="list-style-type: none"> <li>Light to Heavy Industrial</li> <li>Warehouse and Distribution</li> <li>Lower Density Office</li> <li>Lower Density Retail</li> </ul> </div> <div> <div>Secondary Land Uses</div> <ul style="list-style-type: none"> <li>• Supportive Service Commercial</li> <li>Parks and Open Space</li> <li>..</li> </ul> </div> <div> <div>Parks and Open Space</div> <ul style="list-style-type: none"> <li>...</li> <li>Pockets Parks and Plazas to create places for outdoor seating and dining</li> <li>...</li> </ul> </div>	111	<div> <div>Primary Land Uses</div> <ul style="list-style-type: none"> <li>Light to Heavy Industrial</li> <li>Warehouse and Distribution</li> <li>Lower Density Office</li> <li>Lower Density Retail</li> </ul> </div> <div> <div>Secondary Land Uses</div> <ul style="list-style-type: none"> <li>• Supportive Service Commercial</li> <li>• <del>Parks and Open Space</del></li> <li>..</li> </ul> </div> <div> <div>Parks and Open Space</div> <ul style="list-style-type: none"> <li>...</li> <li>Pockets Parks and Plazas to create places for outdoor seating and dining</li> <li>...</li> </ul> </div>	89	Notable	

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
	<b>Fiscal Considerations</b> <ul style="list-style-type: none"> <li>Net Negative Fiscal Impact (-\$1,652 per acre, -\$288 per new person)</li> <li>Only Place Type with a net negative fiscal impact, but Place Type with greatest potential to capture employment growth</li> <li>Lower density uses generate less efficient infrastructure investment, but value of non-residential development will vary fiscal impact</li> <li>Impact on calls for service varies by use (e.g., retail more, industrial less)</li> </ul>		<b>Fiscal Considerations</b> <ul style="list-style-type: none"> <li><del>Net Negative Fiscal Impact (-\$1,652 per acre, -\$288 per new person)</del></li> <li><del>Only Place Type with a net negative fiscal impact, but Place Type with greatest potential to capture employment growth</del></li> <li>Lower density uses generate less efficient infrastructure investment, but value of non-residential development will vary fiscal impact</li> <li>Impact on calls for service varies by use (e.g., retail more, industrial less)</li> </ul>			
142.	<b>Overlay Characteristics/Considerations</b> Environmental Consider Low Impact Development (LID) development applying Best Management Practices (BMPs) and other best practices with overall development limited to approximately 50% of land area	111	<b>Overlay Characteristics/Considerations</b> Environmental Consider Low Impact Development (LID) <del>development</del> applying Best Management Practices (BMPs) and other best practices with overall development limited to approximately 50% of land area	89	Stylistic	
143.	<b>COMMERCIAL/ EMPLOYMENT MEDIUM</b> ... Parks, trails, open space, and other amenities contribute to the sense of place and provide amenities for employees and visitors, as well as San Marcans living nearby.		<b>COMMERCIAL/ EMPLOYMENT MEDIUM</b> ... Parks, trails, open space, and other amenities contribute to the sense of place and provide amenities for employees and visitors, as well as <del>San Marcans</del> <u>Marcans residents</u> living nearby.	90	Stylistic	
144.	In San Marcos, medical and educational campuses are the best examples of Commercial/Employment Medium place types today. They tend to have multistory buildings organized around open space and circulation amenities. There is also a critical mass of activity to help establish a true sense of place. Many other medium intensity commercial and employment developments in San Marcos are somewhat isolated from other buildings and properties nearby. In essence, the developments largely have the same characteristics as existing Commercial/Employment Low places, but with taller buildings. Commercial/Employment Low places in San Marcos should be highly walkable and compact places with concentrations of like uses organized around a variety of amenities. Instead of areas with a disconnected		<del>In San Marcos, medical and educational campuses are the best examples of Commercial/Employment Medium place types today. They tend to have multistory buildings organized around open space and circulation amenities. There is also a critical mass of activity to help establish a true sense of place. Many other medium intensity commercial and employment developments in San Marcos are somewhat isolated from other buildings and properties nearby. In essence, the developments largely have the same characteristics as existing Commercial/Employment Low places, but with taller buildings. Commercial/Employment Low places in San Marcos should be highly walkable and compact places with concentrations of like uses organized around a variety of amenities. Instead of areas with a disconnected</del>	n/a	Notable	In conjunction with item #107, this has been moved to the appendix of the alternative draft.

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments												
	collection of higher intensity buildings, the Commercial/Employment Medium development of the future will work in concert to create a desirable district with employment, shopping, and entertainment opportunities for employees and residents living nearby.		<del>desirable district with employment, shopping, and entertainment opportunities for employees and residents living nearby.</del>															
145.	<table><tr><td>Parks and Open Space</td><td><div>...</div><ul style="list-style-type: none"><li>● Pockets Parks and Plazas to create places for outdoor seating, dining, public art and other placemaking elements</li></ul><div>...</div></td></tr><tr><td>Desirable Transitions</td><td><div>Neighborhood Medium</div><ul style="list-style-type: none"><li>● Mixed Use Medium</li><li>● Neighborhood High</li><li>● Commercial/Employment Medium</li><li>● Mixed Use Low</li><li>● <del>Conserve/Reserve</del></li></ul></td></tr><tr><td>Fiscal Considerations</td><td><div><div>Net Positive Fiscal Impact (\$735 per acre, \$42 per new person)</div><ul style="list-style-type: none"><li>● Higher density of employment uses offsets cost to serve and provide infrastructure compared to Commercial/Employment Low</li></ul></div></td></tr></table>	Parks and Open Space	<div>...</div> <ul style="list-style-type: none"><li>● Pockets Parks and Plazas to create places for outdoor seating, dining, public art and other placemaking elements</li></ul> <div>...</div>	Desirable Transitions	<div>Neighborhood Medium</div> <ul style="list-style-type: none"><li>● Mixed Use Medium</li><li>● Neighborhood High</li><li>● Commercial/Employment Medium</li><li>● Mixed Use Low</li><li>● <del>Conserve/Reserve</del></li></ul>	Fiscal Considerations	<div><div>Net Positive Fiscal Impact (\$735 per acre, \$42 per new person)</div><ul style="list-style-type: none"><li>● Higher density of employment uses offsets cost to serve and provide infrastructure compared to Commercial/Employment Low</li></ul></div>	115	<table><tr><td>Parks and Open Space</td><td><div>...</div><ul style="list-style-type: none"><li>● Pockets Parks and Plazas to create places for outdoor seating, dining, public art and other placemaking elements</li></ul><div>...</div></td></tr><tr><td>Desirable Transitions</td><td><div>Neighborhood Medium</div><ul style="list-style-type: none"><li>● Mixed Use Medium</li><li>● Neighborhood High</li><li>● Commercial/Employment Medium</li><li>● Mixed Use Low</li><li>● <del>Conserve/Reserve</del></li></ul></td></tr><tr><td>Fiscal Considerations</td><td><div><div>Net Positive Fiscal Impact (\$735 per acre, \$42 per new person)</div><ul style="list-style-type: none"><li>● Higher density of employment uses offsets cost to serve and provide infrastructure compared to Commercial/Employment Low</li></ul></div></td></tr></table>	Parks and Open Space	<div>...</div> <ul style="list-style-type: none"><li>● Pockets Parks and Plazas to create places for outdoor seating, dining, public art and other placemaking elements</li></ul> <div>...</div>	Desirable Transitions	<div>Neighborhood Medium</div> <ul style="list-style-type: none"><li>● Mixed Use Medium</li><li>● Neighborhood High</li><li>● Commercial/Employment Medium</li><li>● Mixed Use Low</li><li>● <del>Conserve/Reserve</del></li></ul>	Fiscal Considerations	<div><div>Net Positive Fiscal Impact (\$735 per acre, \$42 per new person)</div><ul style="list-style-type: none"><li>● Higher density of employment uses offsets cost to serve and provide infrastructure compared to Commercial/Employment Low</li></ul></div>	91	Notable	
Parks and Open Space	<div>...</div> <ul style="list-style-type: none"><li>● Pockets Parks and Plazas to create places for outdoor seating, dining, public art and other placemaking elements</li></ul> <div>...</div>																	
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146.	<table><tr><th colspan="2">Overlay Characteristics/Considerations</th></tr><tr><td>Environmental</td><td>Consider Low Impact Development (LID) development applying Best Management Practices (BMPs) and other best practices with overall development limited to approximately 50% of land area</td></tr></table>	Overlay Characteristics/Considerations		Environmental	Consider Low Impact Development (LID) development applying Best Management Practices (BMPs) and other best practices with overall development limited to approximately 50% of land area		<table><tr><th colspan="2">Overlay Characteristics/Considerations</th></tr><tr><td>Environmental</td><td>Consider Low Impact Development (LID) <del>development</del> applying Best Management Practices (BMPs) and other best practices with overall development limited to approximately 50% of land area</td></tr></table>	Overlay Characteristics/Considerations		Environmental	Consider Low Impact Development (LID) <del>development</del> applying Best Management Practices (BMPs) and other best practices with overall development limited to approximately 50% of land area	91	Stylistic					
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147.	<b>CONSERVE/RESERVE</b> ... The Conserve/Reserve place type was originally developed to identify areas where development would be discouraged over the life of the Comprehensive Plan.	116	<del><b>CONSERVE/RESERVE</b></del> <u><b>NEW NAME</b></u> ... <b>The <del>NEW NAME</del><del>Conserve/Reserve place type</del>Place Type</b> was originally developed to identify areas where development would be discouraged over the life of the Comprehensive Plan.	92	Notable	Staff recommends “Conservation/Cluster”												



Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
148.	<div> <div>Parks and Open Space</div> <ul style="list-style-type: none"> <li>Also Neighborhood Parks to provide active and passive recreation opportunities for nearby residents, as well as integrated stormwater features</li> </ul> </div>	119	<div> <div>Parks and Open Space</div> <ul style="list-style-type: none"> <li>Also Neighborhood Parks to provide active and passive recreation opportunities for nearby residents, as well as integrated stormwater features</li> </ul> </div>	93	Stylistic	
149.	<b>EXPLORATION OF ALTERNATIVE GROWTH SCENARIOS</b> ... Walkability would remain a desired condition that is mainly only realized in downtown or internally within specific subdivisions and projects. San Marcos would likely become even more of a “bedroom community”, with housing demands outpacing employment growth. A large portion of environmentally sensitive areas would likely be impacted as continued pressure to develop in a piecemeal fashion grows and a reactive approach to growth in the ETJ would strain requests for water and sewer services.	120	<b>MOVE THIS SECTION TO THE APPENDIX</b> <b>EXPLORATION OF ALTERNATIVE GROWTH SCENARIOS</b> ... Walkability would remain a desired condition that is mainly only realized in downtown or internally within specific subdivisions and projects. <del>San Marcos would likely become even more of a “bedroom community”, with housing demands outpacing employment growth.</del> A large portion of environmentally sensitive areas would likely be impacted as continued pressure to develop <del>in a piecemeal fashion</del> grows and a reactive approach to growth in the ETJ would strain requests for water and sewer services.	n/a	Notable	Staff removed the text in this section because it was duplicative of information in the appendix.
150.	The first detailed alternative (Scenario A) included a large concentration of dense development in a “Second City Center” on the east side of IH- 35. The second city center would serve as a new employment center with medium and high-density housing integrated within and immediately adjacent to this new mixed use place. The intent of this approach was to relieve development pressures on San Marcos’ existing downtown and existing close-in neighborhoods and would establish a pattern of urban villages connected to the second city center and the rest of San Marcos.	120	The first detailed alternative (Scenario A) included a large concentration of dense development in a <del>“Second City Center”</del> East Village on the east side of IH- 35. The <del>second city center</del> East Village would serve as a new employment center with medium and high-density housing integrated within and immediately adjacent to this new mixed use place. The intent of this approach was to relieve development pressures on San Marcos’ existing downtown and existing close-in neighborhoods and would establish a pattern of urban villages connected to the <del>second city center</del> East Village and the rest of San Marcos.	n/a	Notable	In conjunction with item #149, staff removed the text in this section because it was duplicative of information in the appendix.
151.	Overall, the community expressed a general preference to combine scenarios A & B. They thought that the historic resource overlay, cultural resource overlay, and environmental overlay should continue to be priority.	121	Overall, the community expressed a general preference to combine scenarios A & B. They thought that the historic resource overlay, cultural resource overlay, and environmental overlay should continue to be priorities.	n/a	Stylistic	In conjunction with item #149, staff removed the text in this section because it was duplicative of information in the appendix.

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
152.	They requested to continue exploring placing medium and higher density commercial at strategic locations as well as making places more walkable, not just by adding a sidewalk network, but also creating destinations to walk to. Additionally, there was a strong desire to minimize acres developed and impervious cover and that a heavy emphasis on new growth east of IH-35 would likely require public and private investment in new infrastructure, such as roads, utilities, and wastewater treatment plant, which will ultimately be maintained by the City in perpetuity.	121	They requested to continue exploring placing medium and higher density commercial at strategic locations as well as making places more walkable, not just by adding a sidewalk network, but also creating destinations <del>to walk to</del> . Additionally, there was a strong desire to minimize acres developed and impervious cover and that a heavy emphasis on new growth east of IH-35 would likely require public and private investment in new infrastructure, such as roads, <del>and</del> utilities, <del>and wastewater treatment plant,</del> which will ultimately be maintained by the City in perpetuity.	n/a	Stylistic	In conjunction with item #149, staff removed the text in this section because it was duplicative of information in the appendix.
153.	<b>The Preferred Growth Scenario</b> The Preferred Growth Scenario incorporates the aspects of alternative scenarios A and B by focus ing and intensifying new growth east of IH-35 and along corridors and providing better direction on land use while allowing flexibility. The Preferred Growth Scenario minimizes the development of environmentally sensitive areas, and reduces the pressure of development in existing established neighborhoods and historic areas.	122	<b>The Preferred Growth Scenario</b> The Preferred Growth Scenario <del>incorporates the aspects of alternative scenarios A and B by</del> focuses ing and intensifying new growth east of IH-35 <del>and</del> , along corridors, and <del>providing</del> provides better direction on land use while allowing flexibility. <del>The Preferred Growth Scenario</del> minimizes the development of environmentally sensitive areas, and reduces the pressure of development in existing established neighborhoods and historic areas.	94	Stylistic	
154.	The Preferred Growth Scenario is expected to require approximately 19,000 acres to accommodate the projected growth in housing units and employment through 2050. The proposed higher intensity mixed-use activity center east of IH-35 will help alleviate development pressures by capturing and accommodating a large portion of the future housing and employment needs.	122	The Preferred Growth Scenario is expected to require approximately 19,000 acres to accommodate the projected growth in housing units and employment through 2050. <del>The proposed higher intensity mixed-use activity center east of IH-35 will help alleviate development pressures by capturing and accommodating a large portion of the future housing and employment needs.</del>	94	Notable	
155.	The Preferred Growth Scenario paired with the Place Types help to ensure a high level of walkability with places to walk to near most residences. Creating transit supportive	122	<del>The Preferred Growth Scenario paired with the Place Types help to ensure a high level of walkability with places to walk to near most residences.</del> Creating transit supportive development patterns is a	94	Notable	

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
	development patterns is a prerequisite to establishing of high-capacity transit corridors. The realization of multiple regional and community centers will support such investment in San Marcos and to other regional destinations moving forward. The Preferred Growth Scenario and associated		prerequisite to establishing <del>of</del> high-capacity transit corridors. <del>The realization of multiple regional and community centers will support such investment in San Marcos and to other regional destinations moving forward. The Preferred Growth Scenario and associated</del> <u>[Not sure where this goes; seems odd here.]</u>			
156.	Place Types also promote a diverse mix of housing types and missing middle housing with townhomes, accessory dwelling units, courtyard apartments, duplexes, etc.	122	Place Types <del>also</del> promote a diverse mix of housing types <del>and missing middle housing</del> with <u>single family</u> , townhomes, accessory dwelling units, courtyard apartments, duplexes, <u>multi-family</u> , etc.	94	Stylistic	
157.	The Preferred Growth Scenario is built on the goal of providing equitable access to amenities. With the creation of a larger and more intense mixed-use activity center east of IH-35, access to amenities and services will be provided to an area that is currently lacking access to these types of services. The addition and enhancement of amenities and services in other parts of the city is also achieved through the designation of multiple mixed use places and centers distributed throughout San Marcos.	122	The Preferred Growth Scenario is built on the goal of providing equitable access to amenities. <del>With the creation of a larger and more intense</del> <u>The mixed-use activity center east of IH-35, East Village is intended to provide</u> access to amenities and services. <del>will be provided to an area that is currently lacking access to these types of services.</del> The addition and enhancement of amenities and services in other parts of the city is <del>also</del> achieved through the designation of multiple mixed use places and centers distributed throughout San Marcos.	94	Stylistic	
158.	<i>Images of centers.</i>	124 - 130	<b>MIXED USE CENTERS</b> <u>REMOVE MAP IMAGES</u>	96	Notable	
159.	The Preferred Growth Scenario includes 17 mixed use centers distributed throughout the community. While several of these centers already exist, many are only partially developed, undeveloped, or single use commercial areas today. Based upon extensive community input, three scales of mixed use centers were identified and mapped as a critical part of the Preferred Growth Scenario. Regional Centers, Community Centers, and Neighborhood Centers are described below, but the	124	The Preferred Growth Scenario includes 17 mixed use centers distributed throughout the community. While several of these centers already exist, many are only partially developed, undeveloped, or single use commercial areas today. <del>Based upon extensive community input, t</del> Three scales of mixed use centers were identified and mapped as a critical part of the Preferred Growth Scenario. Regional Centers, Community Centers, and Neighborhood Centers are described below, <del>but the common thread amongst them is that these places provide vibrant destinations and opportunities for arts, culture, dining, shopping,</del>	96	Notable	

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
	common thread amongst them is that these places provide vibrant destinations and opportunities for arts, culture, dining, shopping, working, and entertainment in close proximity to residences and are critical ingredients in strengthening and creating complete communities in San Marcos.		<del>working, and entertainment in close proximity to residences and are critical ingredients in strengthening and creating complete communities in San Marcos.</del>			
160.	<b>Regional Centers:</b> Regional Centers are large, high-density mixed-use areas, typically along transit corridors or major roadways, that provide access to goods, services, dining, offices, entertainment, and residential for regional residents and visitors. These areas are characterized by higher intensity commercial, residential, and mixed use development in a well-connected, walkable, and bikeable place. Regional Centers have unique offerings to the community and typically attract patrons from across the entire community and potentially the region. The primary place types comprising regional centers include Mixed Use Medium; Commercial/Employment Medium; Neighborhood Medium; Neighborhood High.	124	<b>Regional Centers:</b> Regional Centers are large, high-density mixed-use areas, typically along transit corridors or major roadways, that provide access to goods, services, dining, offices, entertainment, and residential <a href="#">areas</a> for regional residents and visitors. These areas are characterized by higher intensity commercial, residential, and mixed use development in a well-connected, walkable, and bikeable places. Regional Centers have unique offerings to the community and typically attract patrons from across the <del>entire</del> community and potentially the region. The primary <del>place type</del> <a href="#">Place Types</a> comprising regional centers include Mixed Use Medium; Commercial/Employment Medium; Neighborhood Medium; Neighborhood High.	96	Stylistic	
161.	<b>Downtown:</b> The Downtown Regional Center is centered on the Hays County Historic Courthouse Square in Downtown San Marcos. Place types comprising the Downtown Regional Center include primarily Mixed Use Medium and Commercial/Employment Medium, with Neighborhood High and Mixed Use Low. As part of the Vision SMTX effort, the community is developing an updated Downtown Area Plan to guide public and private investment over the next 20 years.	124	<b>Downtown:</b> The Downtown Regional Center is centered on the Hays County Historic Courthouse Square in Downtown San Marcos. Place types comprising the Downtown Regional Center include primarily Mixed Use Medium and Commercial/Employment Medium, with Neighborhood High and Mixed Use Low. <del>As part of the Vision SMTX effort, the community is developing an updated</del> <a href="#">There is a</a> Downtown Area Plan to guide public and private investment over the next 20 years.	96	Stylistic	
162.	<b>Second City Center (formerly referred to as East Village):</b> The Second City Center builds on the previous Comprehensive Plan's vision	124	<del>Second City Center (formerly referred to as East Village):</del> The <del>Second City Center</del> builds on the <del>previous Comprehensive Plan's vision of the</del> East	96	Stylistic	

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	of the East Village west of the interchange where SH-123 meets FM-110. The area currently includes a handful of rural homes, light industrial areas (including the City's Public Services Complex), some newer multifamily style housing and the San Marcos High School. Place types comprising the Second City Center Regional Center include Mixed Use Medium, Neighborhood High, and Commercial/ Employment Medium. As part of the Vision SMTX effort, the community is developing a Regional Center Area Plan for the second City Center.		Village <u>is located</u> west of the interchange where SH-123 meets FM-110. The area currently includes <del>a handful of</del> rural homes, light industrial areas (including the City's Public Services Complex), some <del>newer</del> multifamily <del>style</del> housing and the San Marcos High School. Place <del>t</del> Types comprising the <del>Second City Center-East Village</del> Regional Center include Mixed Use Medium, Neighborhood High, and Commercial/ Employment Medium. <del>As part of the Vision SMTX effort, the community is developing a Regional Center Area Plan for the second City Center.</del>			
163.	<b>Community Centers:</b> Community Centers are mid-sized mixed-use areas, typically along transit corridors or major roadways, that provide access to goods, services, dining, entertainment, and residential for nearby and regional residents. These areas are characterized by a mix of medium-intensity commercial and residential uses in a well-connected and walkable place. Development is vertically and horizontally mixed to achieve a high level of activation and vibrancy. Community Centers typically attract patrons from multiple neighborhoods. The primary place types comprising community centers include Mixed Use Medium; Mixed Use Low; Commercial/Employment Medium; Neighborhood Medium; Neighborhood High; and Neighborhood Transition.	125	<b>Community Centers:</b> Community Centers are mid-sized mixed-use areas, typically along transit corridors or major roadways, that provide access to goods, services, dining, entertainment, and residential <u>housing for nearby and regional residents</u> . These areas are characterized by a mix of medium-intensity commercial and residential uses <del>in a well-connected and walkable place</del> . Development is vertically and horizontally mixed <del>to achieve a high level of activation and vibrancy</del> . Community Centers typically attract patrons from multiple neighborhoods. The primary <del>place type</del> Place Types comprising community centers include Mixed Use Medium; Mixed Use Low; Commercial/Employment Medium; Neighborhood Medium; Neighborhood High; and Neighborhood Transition.	97	Stylistic	
164.	<b>North of Airport</b> near the intersection of Harris Hill Road and Yarrington Road is a Community Center envisioned to serve residents in the northern portion of San Marcos. The area is beginning to develop as a residential subdivision (Whisper and Sunset Acres neighborhoods) and some Commercial/Employment Low development.	125	<b>North of Airport</b> <u>(near the intersection of Harris Hill Road and Yarrington Road)</u> is a Community Center envisioned to serve residents in the northern portion of San Marcos. The area is beginning to develop as a residential subdivision (Whisper <u>and Sunset Acres neighborhoods and a few Municipal Utility Districts</u> ) and <del>some</del> Commercial/Employment Low development. In the future, the North of Airport	97	Stylistic	



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	In the future, the North of Airport Community Center is envisioned as a combination of Commercial/Employment Low and Medium, Mixed Use Low, and Neighborhood Medium place types to serve the surrounding neighborhoods.		Community Center is envisioned as a combination of Commercial/Employment Low and Medium, Mixed Use Low, and Neighborhood Medium place types to serve the surrounding neighborhoods.			
165.	<b>Midtown</b> west of IH-35 between Aquarena Springs Drive and Hopkins Street is largely developed today with a mix of residential and commercial uses. The area also includes the Texas State University Bobcat (football) Stadium and Bobcat Track and Field Stadium. In the future, the Midtown Community Center is envisioned as a combination of Mixed Use Medium, Neighborhood High, and Commercial/Employment Medium. While the area is expected to change significantly from its existing condition, there are several opportunities for infill development, redevelopment, and public infrastructure improvements to achieve the vision for the area as a highly walkable, bikeable, transit-focused, vibrant Community Center.	125	<b>Midtown</b> (west of IH-35 between Aquarena Springs Drive and Hopkins Street) is largely developed today with a mix of residential and commercial uses. The area also includes the Texas State University <del>Bobcat</del> (Football) Stadium and <del>the Bobcat</del> Track and Field Stadium. In the future, the Midtown Community Center is envisioned as a combination of Mixed Use Medium, Neighborhood High, and Commercial/Employment Medium. While the area is <u>not</u> expected to change significantly from its existing condition, there are several opportunities for infill development, redevelopment, and public infrastructure improvements to achieve the vision for the area as a highly walkable, bikeable, transit-focused, vibrant Community Center.	97	Stylistic	
166.	<b>South End</b> east of the intersection of Wonder World Drive and Hunter Road was included in the previous 2013 Comprehensive Plan and is a designated Community Center that is already beginning to develop in a manner consistent with the community's vision for the area. The area includes a variety of commercial and residential developments that are generally consistent with the Preferred Growth Scenario. Place types comprising the South End Community Center include Mixed Use Medium and Neighborhood High	126	<b>South End</b> (east of the intersection of Wonder World Drive and Hunter Road) <del>was included in the previous 2013 Comprehensive Plan and is a designated Community Center that</del> is already beginning to develop in a manner consistent with the community's vision for the area. The area includes a variety of commercial and residential developments that are <u>generally</u> consistent with the Preferred Growth Scenario. Place <del>types comprising the South End Community Center</del> include Mixed Use Medium and Neighborhood High.	97	Stylistic	

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167.	<b>Medical District</b> at the intersection of Wonder World Drive/Redwood Road and SH-123 is a designated Community Center in the Preferred Growth Scenario. Medical uses are already developing in the area, primarily along Wonder World Drive west of SH-123. A small amount of multifamily housing also exists in the area. Place Types comprising the Medical District Community Center include Mixed Use Medium, Neighborhood High, and Commercial/Employment Medium	126	<b>Medical District</b> <u>is located</u> at the intersection of Wonder World Drive/Redwood Road and SH-123 <del>is a designated Community Center in the Preferred Growth Scenario</del> . Medical uses are <del>already developing in the area</del> , primarily along Wonder World Drive west of SH-123. <del>A small notable amount of</del> Multifamily housing also exists in the area. Place Types <del>comprising the Medical District Community Center</del> include Mixed Use Medium, Neighborhood High, and Commercial/Employment Medium	97	Stylistic	
168.	<b>Northeast Highway 110</b> is an undeveloped area along FM-110 where the community expressed a strong desire for new mixed use development to serve potential new residential developments. Due to the environmental assets and constraints pervasive in and near this location, the intensity of development is expected to be low to medium. Place types comprising the Northeast Highway 110 Community Center include Mixed Use Low and Neighborhood Medium.	126	<b>Northeast Highway 110</b> is an <del>undeveloped</del> <u>developing</u> area along FM-110, <u>including Whisper</u> . <del>where the community expressed a strong desire for new mixed use development to serve potential new residential developments</del> . Due to the environmental assets and constraints <del>pervasive in and near this location</del> , the <del>48ngoing</del> <u>48g</u> intensity of development <del>is expected to will</del> be low to medium. Place <del>t</del> Types <del>comprising the Northeast Highway 110 Community Center</del> include Mixed Use Low and Neighborhood Medium.	98	Notable	Staff recommends that “Whisper” be revised to state “Riverbend / Riverbridge Ranch” because Whisper is not in this area. In addition, staff recommends not adding the highlighted typo.
169.	<b>Highway 110 and Staples Road</b> is also a largely undeveloped area along FM-110, but the area does include a small amount of commercial and residential development east of FM-110. Place types comprising the Highway 110 and Staples Road Community Center include Commercial/Employment Low and Medium, Mixed Use Medium, and Neighborhood Medium	127	<b>Highway 110 and Staples Road</b> is <del>also</del> a largely undeveloped area along FM-110, <del>but the area does include</del> <u>inge</u> a small amount of commercial and residential development east of FM-110. Place <del>t</del> Types <del>comprising the Highway 110 and Staples Road Community Center</del> include Commercial/Employment Low and Medium, Mixed Use Medium, and Neighborhood Medium	98	Stylistic	
170.	<b>Kissing Tree/Centerpoint Drive West</b> is an envisioned Community Center with limited development today. There are only a handful of commercial and institutional uses today, but the area is envisioned as a mixed use Community Center in the future. Place types comprising the Kissing Tree/Centerpoint	127	<b>Kissing Tree/ <u>West</u> Centerpoint Drive</b> <del>West has is an envisioned Community Center with</del> limited development today <u>with expectations of growth in the future</u> . <del>There are only a handful of commercial and institutional uses today, but the area is envisioned as a mixed use Community Center in the future</del> . Place <del>t</del> Types <del>comprising the Kissing</del>	98	Stylistic	

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	Drive West Community Center include Mixed Use Medium, and Commercial/Employment Low and Medium.		<del>Tree/Centerpoint Drive West Community Center</del> include Mixed Use Medium, and Commercial/Employment Low and Medium.			
171.	<b>Centerpoint Drive East</b> is an envisioned Community Center that is largely undeveloped today. Like the Kissing Tree/Centerpoint Drive West Community Center, the Centerpoint Drive East Community Center benefits from close proximity to the Tanger and Premium Outlets. Place types comprising the Centerpoint Drive East Community Center include Mixed Use Medium, and Neighborhood Medium and High.	127	<del>East Centerpoint Drive East is an envisioned Community Center that is</del> largely undeveloped today and will. Like the Kissing Tree/Centerpoint Drive West Community Center, the Centerpoint Drive East Community Center benefits from close proximity to the Tanger and Premium Outlets. Place types comprising the Centerpoint Drive East Community Center include Mixed Use Medium, and Neighborhood Medium and High.	98	Stylistic	
172.	<b>Neighborhood Centers:</b> Neighborhood Centers are small, walkable mixed-use areas that provide convenient access to goods, services, dining, and residential for nearby residents. These areas are characterized by smaller commercial centers that are walkable and typically embedded in or near neighborhoods so that residents have convenient, safe, and equitable access to services. They should be concentrated to small geographies and distributed throughout the city. The primary place types comprising neighborhood centers include Mixed Use Low; Neighborhood Medium; Commercial/Employment Low; and Neighborhood Transition.	128	<b>Neighborhood Centers:</b> Neighborhood Centers are small, walkable, mixed-use areas that provide convenient access to goods, services, <u>and</u> dining, <del>and residential</del> for nearby residents. These areas are characterized by smaller commercial centers <del>that are walkable and</del> typically embedded <del>in or</del> near neighborhoods so that residents have convenient, safe, and equitable access to services. <del>They should be concentrated to small geographies and distributed throughout the city.</del> The primary place types comprising neighborhood centers include Mixed Use Low; Neighborhood Medium; Commercial/Employment Low; and Neighborhood Transition.	99	Notable	
173.	<b>Riverway Avenue and Cotter Avenue</b> is an envisioned Neighborhood Center that has minimal development today, although has seen increased development in recent years. Existing uses include a multifamily apartment complex and an auto dealership with nearby office and warehouse uses. Place types comprising the Riverway and Cotter Avenue Neighborhood Center in the future include	128	<b>Riverway Avenue and Cotter Avenue</b> <del>is an envisioned Neighborhood Center that</del> has minimal development today, <del>although has seen with</del> increased development in recent years. Existing uses include a multifamily apartment complex and <del>an</del> <u>two</u> auto dealerships with nearby office and warehouse uses. Place types comprising the Riverway and Cotter Avenue Neighborhood Center in the future include Commercial/Employment Medium, Mixed Use Medium, and Neighborhood High.	99	Stylistic	

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	Commercial/Employment Medium, Mixed Use Medium, and Neighborhood High.					
174.	<b>Mill Street and Uhland Road</b> is an area that is mostly built out today with a combination of commercial, single-family residential, and multifamily residential uses. With that said, there are opportunities for infill and some strategic redevelopment. Place types comprising the Mill Street and Uhland Road Neighborhood Center in the future include Mixed Use Low and Medium, Neighborhood Low, Medium and High, and Neighborhood Transition.	128	<b>Mill Street and Uhland Road</b> is an area that is mostly built out today with a combination of commercial, single-family residential, and multifamily residential uses. <del>With that said, there are opportunities for infill and some strategic redevelopment. Place types comprising the Mill Street and Uhland Road Neighborhood Center in the future</del> include Mixed Use Low and Medium, Neighborhood Low, Medium and High, and Neighborhood Transition.	99	Stylistic	
175.	<b>North LBJ Drive and Sessom Drive</b> is already functioning as a Neighborhood Center today and is envisioned as a Neighborhood Center in the future. The area mainly includes commercial development and multifamily residential development today. Place Types comprising the N LBJ Drive and Sessom Drive Neighborhood Center in the future include Mixed Use Low and Medium, Commercial/Employment Medium, and Neighborhood Low, Medium and High. As part of the Vision SMTX effort, the community is developing a Neighborhood Area Plan for this area.	129	<b>North LBJ Drive and Sessom Drive</b> <del>is already functioning as a Neighborhood Center today and is envisioned as a Neighborhood Center in the future. The area mainly</del> includes commercial development and multifamily residential development today. Place Types <del>comprising the N LBJ Drive and Sessom Drive Neighborhood Center in the future</del> include Mixed Use Low and Medium, Commercial/Employment <del>Medium Low</del> , and Neighborhood Low, Medium and High. As part of the Vision SMTX effort, the community is developing a Neighborhood Area Plan for this area.	99	Stylistic	
176.	<b>Old Ranch Road 12</b> is a collection of commercial and institutional uses today with opportunities to evolve into a true Neighborhood Center. Place Types comprising the Old Ranch Road 12 Neighborhood Center in the future include Mixed Use Low surrounded by Conserve/ Reserve and Neighborhood Low with Neighborhood Medium and High nearby. As part of the Vision SMTX effort, the community is developing a Neighborhood Area Plan for this area.	129	<b>Old Ranch Road 12</b> <del>at the intersection of Country Estates Drive</del> is a collection of commercial and institutional uses <del>today with opportunities to evolve into a true Neighborhood Center. Place Types comprising the Old Ranch Road 12 Neighborhood Center in the future</del> include Mixed Use Low surrounded by Conserve/ Reserve and Neighborhood Low with Neighborhood Medium and High nearby. As part of the Vision SMTX effort, the community is developing a Neighborhood Area Plan for this area.	99	Stylistic	

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177.	<b>Craddock Avenue/Bishop Street</b> is an area that includes a relatively large area of undeveloped land surrounded by a small pocket of commercial development and a combination of single-family residential and multifamily residential. Place types comprising the Craddock Avenue/ Bishop Street Neighborhood Center in the future include Mixed Use Low and Medium surrounded by Neighborhood Low and Medium.	129	<b>Craddock Avenue/Bishop Street</b> <del>is an area that includes a relatively large area of undeveloped land surrounded by a small pocket of commercial development</del> and a combination of single-family residential and multifamily residential. Place <del>types comprising the Craddock Avenue/ Bishop Street Neighborhood Center in the future</del> include Mixed Use Low and Medium surrounded by Neighborhood Low and Medium.	99	Stylistic	
178.	<b>Old Bastrop Highway and Redwood Road</b> is an area that is only partially developed. The area west of the Old Bastrop Highway and Redwood Road intersection has a small commercial use at the corner and a large single-family neighborhood west of that. The other three corners are undeveloped. Place types comprising the Old Bastrop Highway and Redwood Road Neighborhood Center in the future include Neighborhood High and Commercial/Employment Low surrounded by Neighborhood Low and High	130	<b>Old Bastrop Highway and Redwood Road</b> is <del>an area that is</del> only partially developed. The area west of the Old Bastrop Highway and Redwood Road intersection has a small commercial use at the corner and a large single-family neighborhood <del>nearby west of that. Development is underway in the area. The other three corners are undeveloped.</del> Place <del>types comprising the Old Bastrop Highway and Redwood Road Neighborhood Center in the future</del> include Neighborhood High and Commercial/Employment Low surrounded by Neighborhood Low and High	99	Stylistic	
179.	<b>El Rio Street (South)</b> is an area at the south end of San Marcos just east of IH-35 that is undeveloped, but multifamily development is occurring just to the northeast and existing commercial and multifamily zoning exists in and around the area. Place types comprising the El Rio Street (South) Neighborhood Center in the future include Mixed Use Medium and Commercial/Employment Low surrounded by Neighborhood Medium and High.	130	<b>El Rio Street (Trace South)</b> is an area at the south end of San Marcos just east of IH-35 that is undeveloped, <del>but m</del> Multifamily development is occurring just to the northeast and existing commercial and multifamily zoning exists <del>in and around</del> the area. Place <del>types comprising the El Rio Street (South) Neighborhood Center in the future</del> include Mixed Use Medium and Commercial/Employment Low surrounded by Neighborhood Medium and High.	100	Stylistic	
180.	<b>RELATIONSHIP TO ZONING CODE AND OTHER REGULATIONS</b> The Preferred Growth Scenario Map and place types do not explicitly address zoning. The Place Types section identifies desired	131	<b>RELATIONSHIP TO ZONING CODE AND OTHER REGULATIONS</b> The Preferred Growth Scenario Map and <del>p</del> Place <del>types</del> do not explicitly address zoning. The Place Types section identifies desired land uses and a	101	Stylistic	

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	land uses and a variety of other characteristics for each designation on the Preferred Growth Scenario Map. Both the map and the Place Type descriptions and graphics are generalized tools used to guide development and amendments to the City's Land Development Code.		variety of other characteristics for each designation on the Preferred Growth Scenario Map. Both the map and the Place Type descriptions <del>and graphics</del> are generalized tools used to guide development and amendments to the City's Land Development Code.			
181.	Zoning is conservative in nature and has a bias towards maintaining the status quo. Growing cities, though, are not static; new residents move in, new businesses are established, and new technologies change the way people live. These factors create pressures that change the way land is used. The purpose of planning is to anticipate and shape this change in a way that provides opportunities for new development and redevelopment while preserving the community's cultural and environmental heritage. A comprehensive plan articulates the community's vision for the future; zoning and other regulatory and budget tools implement that community vision. It follows, therefore, that the first	131	<del>Zoning is conservative in nature and has a bias towards maintaining the status quo. Growing cities, though, are not static; new residents move in, new businesses are established, and new technologies change the way people live. These factors create pressures that change the way land is used.</del> The purpose of planning is to anticipate and shape <del>this</del> change in a way that provides opportunities for new development and redevelopment while preserving the community's <u>historical</u> , cultural, and environmental heritage. A comprehensive plan articulates the community's vision for the future; <del>zoning and other regulatory and budget tools implement that community vision. It follows, therefore, that the first</del> <u>o</u>	101	Notable	
182.	N/A	131	<u>The single-family nature of traditional neighborhoods will be preserved while welcoming multiple types of housing in new developments.</u>	101	Notable	
183.	It follows, therefore, that the first question in any zoning case should be, "Does this request comply with the comprehensive plan?" The plan's goals, the Preferred Scenario Map and the Place Types provide that first level of guidance.	131	<del>It follows, therefore, that the first</del> <u>o One of the</u> questions in any zoning case should be, "Does this request comply with the comprehensive plan?" The plan's goals, <del>the</del> Preferred Scenario Map, <u>Areas Plans, Neighborhood Character Studies,</u> and <del>the</del> Place Types provide that <del>first level of</del> guidance.	101	Stylistic	
184.	AREA PLANNING A key element of the Vision SMTX Comprehensive Plan is establishing area plans for the first set of geographies across San Marcos. Area planning includes detailed	133	AREA PLANNING <del>A k</del> Key elements of the Vision SMTX Comprehensive Plan <del>is establishing are a</del> <u>Area p</u> lans. <del>for the first set of geographies across San Marcos.</del> Area planning includes detailed conversations and	103	Stylistic	



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	conversations and recommendations for Regional Centers and Neighborhood Areas throughout the community. This section provides an overview of the Area Planning approach to be applied now and moving forward for additional Neighborhood Areas, as well as a summary of the areas being planned as part of the initial Vision SMTX process.		recommendations for Regional Centers and <u>selected</u> Neighborhood Areas throughout the community. This section provides an overview of the Area Planning approach <u>to be applied now and moving forward for additional Neighborhood Areas</u> , as well as a summary of the areas being planned as part of the initial Vision SMTX process.			
<b>185.</b>	<b>INTRODUCTION</b> An important part of the Vision SMTX Comprehensive Plan process was the inclusion of Area Planning. Whereas the Comprehensive Plan articulates a vision, guiding principles, goals, and policies for the entire City and its Preferred Growth Scenario assigns Place Types to smaller areas throughout the community. , the citywide guidance provided by the Plan does not address more localized needs within neighborhoods and smaller areas nearby. Place Types and their more robust description of land use, built form, mobility, and amenities establish additional direction for the types of improvements and investments appropriate in existing and new areas of the community , but they do not benefit from more localized discussions and recommendations specific to a specific geography.	134	<b>INTRODUCTION</b> <u>Area Plans are A</u> an important part of the Vision SMTX Comprehensive Plan process <del>was the inclusion of Area Planning. Whereas the</del> The Comprehensive Plan articulates a vision, guiding principles, goals, and <del>policies considerations</del> for the entire City. <del>and its</del> The Preferred Growth Scenario assigns Place Types to smaller areas throughout the community. <del>the</del> The citywide guidance provided by the Plan does not address more localized needs within neighborhoods and smaller areas nearby. Place Types and their <del>more robust</del> description of land use, <del>built form</del> , mobility, and amenities establish additional direction for the types of improvements and investments appropriate in existing and new areas of the community. <del>but they do not benefit from</del> <u>However</u> , more localized discussions and recommendations <u>regarding the selected areas are needed. specific to a specific geography.</u>	104	Stylistic	
<b>186.</b>	The <i>Vision San Marcos: A River Runs Through Us Comprehensive Plan</i> (Vision San Marcos) identified Neighborhood Character Studies as an important next step to determine the types of projects that would be supported in existing neighborhoods (referred to as Areas of Stability in that document).	134	The <i>Vision San Marcos: A River Runs Through Us Comprehensive Plan</i> (Vision San Marcos) identified Neighborhood Character Studies as an important <del>next</del> step to determine the types of projects that would be supported in existing neighborhoods (referred to as Areas of Stability in that document).	104	Stylistic	

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187.	Thus, seven Area Plans are included in the Vision SMTX Comprehensive Plan planning process. While two of those Area Plans focus on higher intensity mixed use regional centers, the remaining five focus on neighborhoods around San Marcos. The Neighborhood Character Studies promised in the Vision San Marcos are included as a major component of the five Area Plans focusing on neighborhoods.	134	<del>Thus, s</del> Seven Area Plans are included in the Vision SMTX Comprehensive Plan planning process. While two of those Area Plans focus on higher intensity mixed use regional centers <u>of Downtown and East Village</u> , the remaining five focus on neighborhoods around San Marcos. The Neighborhood Character Studies promised in the Vision San Marcos are included as a major component of the five Area Plans focusing on neighborhoods. <u>These Area Plans will have the same power and effect as Neighborhood Character Studies noted in the statement above from the Vision San Marcos 2013 Comprehensive Plan.</u>	104	Notable	1) Staff does not recommend the addition of the last sentence. The Development Code provides the authority and effect, not the Comprehensive Plan. 2) References to the 2013 plan, which indicated a person would need to reference that plan, have been primarily removed.
188.	The first five neighborhood-focused Area Plans are establishing a template for community engagement, the approach to analysis, types of recommendations, and documentation that will be utilized in developing additional Area Plans, including Neighborhood Character Studies, in the coming years.	134	The first five neighborhood-focused Area Plans <del>are</del> establishing a template for community engagement, the approach to analysis, types of recommendations, and documentation that will be utilized in developing additional Area Plans, including Neighborhood Character Studies, in the coming years.	104	Stylistic	
189.	<b>AREA PLAN APPROACH</b> Area Plans are intended to provide a coordinated, consistent, and effective approach for the planning of neighborhoods and Regional Centers in San Marcos. A more localized and/or neighborhood-based approach to more detailed planning of San Marcos establishes an achievable approach to developing plans with detailed recommendations for specific geographies of the community.	135	<b>AREA PLAN APPROACH</b> <del>Area Plans are intended to provide a coordinated, consistent, and effective approach for the planning of neighborhoods and Regional Centers in San Marcos. A more localized and/or neighborhood-based approach to more detailed planning of San Marcos establishes an achievable approach to developing plans with detailed recommendations for specific geographies of the community.</del>	105	Notable	
190.	<b>TYPES OF AREA PLANS</b> As suggested above, the Area Planning approach includes two types of Area Plans. The first type is for the two Regional Centers identified and briefly described in the previous section. The second type incorporates Neighborhood Character	135	<b>TYPES OF AREA PLANS</b> <del>As suggested above, t</del> The Area Planning approach includes two types of Area Plans. The first type is for the two Regional Centers <u>of Downtown and East Village</u> , identified and briefly described in the previous section. The second type incorporates	105	Notable	

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	Studies and is focused on areas of the community with mainly Neighborhood place types assigned in the Preferred Growth Scenario. With that said, there are benefits to not limiting Neighborhood Area Plans to only geographies with Neighborhood Place Type designations. Planning can and should include other Place Types nearby to help ensure connectivity, compatibility, and a cohesive development pattern that will contribute to creating more complete communities throughout San Marcos.		Neighborhood Character Studies <del>and is are</del> focused on areas of the community with mainly Neighborhood place types assigned in the Preferred Growth Scenario. <del>With that said, there are benefits to not limiting</del> Neighborhood Area Plans <del>should include to only</del> geographies with Neighborhood Place Type designations. Planning can, and should, include other Place Types nearby to help ensure connectivity, compatibility, and a cohesive development pattern. <del>that will contribute to creating more complete communities throughout San Marcos.</del>			
191.	<b>Regional Center Area Plans</b> Based upon direction from the Comprehensive Plan Steering Committee (CPSC) and City Council, the first type of Area Plans are being developed for the two Regional Centers identified in the Preferred Growth Scenario. There are two primary reasons for developing more detailed and localized direction for the Plan's Regional Centers. In the case of Downtown San Marcos, the area signifies the historic heart of the community. The existing Downtown Master Plan was adopted in 2008 and there has been a significant amount of change in the Downtown Area and many of the factors influencing its livelihood and long-term success. The focus of that Area Plan is to continue attracting investment and diversity to Downtown San Marcos while retaining the historic character and charm that make the area unique and memorable.	136	<b>Regional Center Area Plans</b> <del>Based upon direction from the Comprehensive Plan Steering Committee (CPSC) and the City Council, the</del> first type of Area Plans are being developed for the two Regional Centers identified in the Preferred Growth Scenario. <del>There are two primary reasons for developing more detailed and localized direction for the Plan's Regional Centers.</del> In the case of Downtown San Marcos <del>is</del> , the area signifies the historic heart of the community. The existing Downtown Master Plan was adopted in 2008. <del>and there has been a significant amount of change in the Downtown Area, and many of the factors influencing its livelihood and long-term success.</del> The focus of that Area Plan is to continue attracting investment <del>of commercial uses and diversity to Downtown San Marcos</del> while retaining the historic character and charm that make the area unique and memorable.	105	Notable	
192.	For the Second City Center, the Preferred Growth Scenario and associated modeling project a large amount of residential and employment growth in the area designated	137	For the <del>Second City Center</del> East Village, the Preferred Growth Scenario and associated modeling project a large amount of residential and employment growth in the area designated as a Regional Center and much	105	Notable	

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	<p>as a Regional Center and much of the area nearby. Although the area was already identified as a targeted growth area in the Vision San Marcos, the area is largely undeveloped and development that is occurring is not implementing the vision articulated for the East Village in the previous Comprehensive Plan. A Regional Center Area Plan for the Second City Center will evaluate and update that vision, aligning it with direction from the Preferred Growth Scenario, as well as current and projected market conditions.</p> <p>The approach to Regional Center Area Plans in San Marcos includes:</p> <p>...</p> <ul style="list-style-type: none"> <li>Plans for existing and future higher intensity, mixed use centers in San Marcos</li> <li>Focus on land use, built form, connectivity, public spaces, housing and employment</li> </ul>		<p>of the area nearby. <del>Although the area was already identified as a targeted growth area in the Vision San Marcos, the area is largely undeveloped and development that is occurring is not implementing the vision articulated for the East Village in the previous Comprehensive Plan. A Regional Center Area Plan for the Second City Center will evaluate and update that vision, aligning it with direction from the Preferred Growth Scenario, as well as current and projected market conditions.</del></p> <p>The approach to Regional Center Area Plans in San Marcos includes:</p> <p>...</p> <ul style="list-style-type: none"> <li>Plans for <del>existing and future</del> higher intensity, mixed use centers in San Marcos</li> <li>Focus on land use, <del>built form</del>, connectivity, public spaces, housing and employment</li> </ul>			
193.	<p><b>Neighborhood Area Plans</b></p> <p>The CPSC and City Council also provided strong guidance for the second type of Area Plan included in the overall Vision SMTX planning effort.</p> <p>...</p> <p>City Council also provided direction indicating that each distinct neighborhood included in a Neighborhood Area will have its own Neighborhood Character Study as a means of recognizing and protecting the unique character of each individual neighborhood in San Marcos.</p> <p>The approach to Neighborhood Area Plans in San Marcos includes:</p> <p>...</p>	137	<p><b>Neighborhood Area Plans</b></p> <p><del>The CPSC and City Council also provided strong guidance for the second type of Area Plan included in the overall Vision SMTX planning effort.</del></p> <p>...</p> <p>City Council <del>also</del> provided direction indicating that each distinct neighborhood included in a Neighborhood Area will have its own Neighborhood Character Study as a means of recognizing and protecting the unique character of each individual neighborhood in San Marcos.</p> <p>The approach to Neighborhood Area Plans <del>in San Marcos</del> includes:</p> <p>...</p> <ul style="list-style-type: none"> <li><del>Implementation of the Vision SMTX Comprehensive Plan goals and policies on a neighborhood scale</del></li> </ul>	106	Notable	

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	<ul style="list-style-type: none"> <li>Implementation of the Vision SMTX Comprehensive Plan goals and policies on a neighborhood scale</li> </ul>					
194.	<p><b>Documentation of Area Identity and Existing Conditions</b></p> <ul style="list-style-type: none"> <li>Description of the area, its boundaries, and unique assets and constraints</li> <li>Summary of previous and concurrent planning efforts</li> <li>An economic snapshot of employment and market conditions</li> </ul> <p><b>Area Vision and Goals</b></p> <ul style="list-style-type: none"> <li>Alignment with the Comprehensive Plan's Vision, Guiding Principles and Goals</li> <li>Identify additional unique goals for the Area, if applicable</li> </ul> <p><b>Plan Framework</b></p> <ul style="list-style-type: none"> <li>Recommendations for History, Art and Culture</li> <li>Recommendations for Transportation, Mobility and Connectivity</li> <li>Recommendations for Streetscapes</li> <li>Recommendations for Public Spaces and Amenities</li> <li>Recommendations for Housing</li> <li>Recommendations for Business Community</li> <li>Recommendations for Building form and Development, including place types and transition strategies</li> </ul>	138	<p><b>Documentation of Area Identity and Existing Conditions</b></p> <ul style="list-style-type: none"> <li>Description of the area, its boundaries, and unique assets and constraints</li> <li>Summary of previous and concurrent planning efforts</li> <li>An economic snapshot of employment and market conditions</li> <li>Identify additional unique goals for the Area, if applicable</li> </ul> <p><b>Area Vision and Goals</b></p> <ul style="list-style-type: none"> <li>Alignment with the Comprehensive Plan's Vision, Guiding Principles and Goals</li> <li>Identify additional unique goals for the Area, if applicable</li> </ul> <p><b>Recommendations Plan Framework</b></p> <ul style="list-style-type: none"> <li>Recommendations for History, Art and Culture</li> <li>Recommendations for Transportation, Mobility and Connectivity</li> <li>Recommendations for Streetscapes</li> <li>Recommendations for Public Spaces and Amenities</li> <li>Recommendations for Housing</li> <li>Recommendations for Business Community</li> <li>Recommendations for Building form and Development, including place types and transition strategies</li> </ul>	107	Notable	
195.	<p><b>Implementation</b></p> <ul style="list-style-type: none"> <li>Key Investments and prioritization of needed improvements</li> <li>Phasing strategy and CIP coordination</li> </ul>	139	<p><b>Implementation</b></p> <ul style="list-style-type: none"> <li>Key Investments and</li> <li>Prioritization of needed improvements</li> <li>Phasing strategy and CIP coordination</li> <li>Policy and Regulatory Recommendations</li> </ul>	107	Stylistic	

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	<ul style="list-style-type: none"> <li>Policy and Regulatory Recommendations</li> </ul>					
196.	<b>AREA PLAN PROCESS</b> Area Plans should protect and enhance the character of San Marcos' Downtown and neighborhoods. The Regional Center Plan for the Second City Center contributes to this charge by providing a market feasible vision and specific direction for creating a new higher intensity growth area that will relieve development pressure on Downtown and neighborhoods throughout the community. Area Plans are developed through resident driven engagement efforts and intended to provide detailed strategies for places, transportation, infrastructure and community facilities and amenities. Area Plans will build on resident and property owner knowledge and feedback to catalog and celebrate community character and develop and enhance places through 1) the further exploration of how an area can achieve the aspirational aspects of place types included in the Preferred Growth Scenario, and 2) protect, enhance, and add community assets to improve access and equity for neighborhoods throughout San Marcos.	140	<b>AREA PLAN PROCESS</b> Area Plans should protect and enhance the character of San Marcos' Downtown and neighborhoods. The Regional Center Plan for the <u>Second City Center East Village contributes to this charge by providing will provide a market feasible vision and</u> specific direction for creating a new higher intensity growth area that will relieve development pressure <u>on Downtown and neighborhoods throughout the community.</u> Area Plans are developed through resident driven engagement efforts and intended to provide detailed strategies for places, transportation, infrastructure and community facilities and amenities. Area Plans will build on resident and property owner knowledge and feedback to catalog and celebrate community character. <u>and develop and enhance places through 1) the further exploration of how an area can achieve the aspirational aspects of place types included in the Preferred Growth Scenario, and 2) protect, enhance, and add community assets to improve access and equity for neighborhoods throughout San Marcos.</u> Area Plans will serve as a guide for potential <u>development in existing neighborhoods and may include provisions to enhance the area while maintaining the character.</u>	108	Notable	
197.	Area Plans should integrate previous neighborhood plans and studies, as well as recommendations from citywide system plans (e.g., Transportation Master Plan). The purpose of the Area Plans is to develop actionable strategies for the city's neighborhoods at a manageable and implementable scale.	141	Area Plans should integrate previous neighborhood plans and studies, as well as recommendations from citywide system plans (e.g., Transportation Master Plan). The purpose of <u>the an</u> Area Plans is <u>to preserve the character of the city's neighborhoods and</u> to develop actionable strategies for the city's neighborhoods at a manageable and implementable scale.	108	Notable	
198.	In addition, developing a single plan that represents multiple neighborhoods (or single neighborhoods with larger footprints) is a more effective way to elevate neighborhood-	141	In addition, developing a single plan that represents multiple neighborhoods (or single neighborhoods with larger footprints) is <u>an more</u> effective way to <u>identify elevate neighborhood level</u> issues for	108	Stylistic	



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	<p>level issues for consideration of policy changes and funding priorities. The planning process for Area Plans will generally range from six to nine months and should include a robust community engagement strategy. They should be updated approximately every 10-12 years. Criteria for determining prioritization will take into account the Community Area's proximity to regional centers;</p> <p>...</p> <ul style="list-style-type: none"> <li>At a minimum, the community engagement strategy for Area Plans should include at least: one community survey or questionnaire, a series of community meetings, a Steering Committee, and additional meetings and/or pop-up engagement at community events to <ul style="list-style-type: none"> <li>educate residents, business owners, and property owners about the process,</li> <li>gather input on neighborhood character, assets, and challenges, and</li> <li>solicit feedback on draft recommendations, interim deliverables, and the draft plan report.</li> </ul> </li> </ul>		<p>consideration of policy changes and funding priorities. The planning process for Area Plans will generally range from six to nine months and should include a robust community engagement strategy. They should be updated approximately every 10-12 years. Criteria <del>for determining prioritization</del> will take into account the <del>Community Area's</del> proximity to regional centers;</p> <p>...</p> <p><del>At a minimum, t</del>The community engagement strategy for Area Plans should include at least:</p> <ul style="list-style-type: none"> <li><del>one</del> community survey or questionnaire,</li> <li><del>a series of community meetings, a Steering Committee, and</del></li> <li>additional meetings and/or pop-up engagement at community events to <ul style="list-style-type: none"> <li>educate residents, business owners, and property owners about the process,</li> <li>gather input on neighborhood character, assets, and challenges, <del>and</del></li> <li>solicit feedback on draft recommendations, interim deliverables, and the draft plan report.</li> </ul> </li> </ul>			
199.	SUMMARY OF INITIAL AREA PLANNING	142 - 151	SUMMARY OF INITIAL AREA PLANNING <b>REMOVE ALL OF THIS SECTION</b>	n/a	Notable	
200.	<p><b>IMPLEMENTATION</b></p> <p>This section clarifies and establishes parameters and priorities for implementation of the Vision SMTX Comprehensive Plan. The Implementation section includes recommendations for an approach to coordinating and aligning planning in San</p>	153	<p><b>IMPLEMENTATION</b></p> <p><del>This section clarifies and establishes parameters and priorities for implementation of the Vision SMTX Comprehensive Plan. The Implementation section includes recommendations for an approach to coordinating and aligning planning in San Marcos; key findings from a Fiscal Impact Analysis; a suggested</del></p>	111	Notable	

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	Marcos; key findings from a Fiscal Impact Analysis; a suggested approach to identifying and prioritizing public projects; organizational considerations; and a road map for tracking progress moving forward.		<del>approach to identifying and prioritizing public projects; organizational considerations; and a road map for tracking progress moving forward.</del> <u>This section establishes parameters and priorities for implementation of the Vision SMTX Comprehensive Plan and includes recommendations for</u> <ul style="list-style-type: none"> <li><u>an approach to coordinating planning</u></li> <li><u>key findings from a Fiscal Impact Analysis</u></li> <li><u>a suggested approach to identifying and prioritizing public projects</u></li> <li><u>organizational considerations</u></li> <li><u>a road map for tracking progress.</u></li> </ul>			
201.	<b>PLANNING APPROACH</b> The following provides further articulation of an approach and hierarchy for aligning and guiding planning efforts in San Marcos. Upon adoption, the Vision SMTX Comprehensive Plan is the overarching policy document that directs the City's long-range development efforts and the other types of plans critical to realizing the community's vision and goals. The intent of this more clearly defined hierarchy is to ensure that planning at all levels in San Marcos is completed in an efficient and effective manner with meaningful participation and buy-in from individual residents, neighborhoods, property owners, business owners, partner agencies, major institutions, and other key stakeholders.	154	<b>PLANNING APPROACH</b> The following <del>sets forth provides further articulation of</del> an approach and hierarchy for <del>aligning and</del> guiding planning efforts <del>in San Marcos</del> . Upon adoption, the Vision SMTX Comprehensive Plan is the overarching policy document that directs the City's long-range development efforts and the other <del>types of</del> plans critical to realizing the community's vision and goals. The intent of this <del>more clearly defined hierarchy</del> is to ensure that planning at all levels in San Marcos is completed in an efficient and effective manner with meaningful participation and buy-in from individual residents, neighborhoods, property owners, business owners, partner agencies, major institutions, and other key stakeholders.	112	Stylistic	

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202.	Level	Plan Type	Example Plans	154	Level	Plan Type	Example Plans	112	Stylistic	
	1	Comprehensive	Vision SMTX Comprehensive Plan		1	Comprehensive	Vision SMTX Comprehensive Plan			
	2	Citywide Strategic and Action	Parks Master Plan, Stormwater Master Plan; Wastewater Master Plan, Water Master Plan, Transportation Master Plan; Airport Master Plan, Community Development Block Grant (CDBG) Consolidated Plan and Action Plans; Strategic Housing Action Plan, Arts Master Plan; Transit Plan; Greenway and Trails Master Plan; etc.		2	Citywide Strategic Master and Action Plans	<del>Parks Master Plan; Stormwater Master Plan; Wastewater Master Plan; Water Master Plan; Transportation Master Plan; Airport Master Plan; Community Development Block Grant (CDBG) Consolidated Plan and Action Plans; Strategic Housing Action Plan (upon adoption); Arts Master Plan; Transit Plan; Greenway and Trails Master Plan; etc.</del>  <u>Arts Master Plan; Capital Improvements Plan; Community Development Block Grant (CDBG) Consolidated Plan and Action Plans; Flood Protection Plan; Greenway and Trails Master Plan; Parks Master Plan, Stormwater Master Plan; Transit Plan; Transportation Master Plan; Wastewater Master Plan, Water Master Plan, to name a few</u>			
	3	Area	Downtown Area Plan; Second City Center Area Plan; Dunbar/Heritage Neighborhoods Area Plan; Blanco Gardens Neighborhood Area Plan, Additional Area Plans, etc.		3	Area	<u>Airport Master Plan</u> , Downtown Area Plan; <del>Second City Center East Village</del> Area Plan; Dunbar/Heritage Neighborhoods Area Plan; Blanco Gardens Neighborhood Area Plan, <del>Additional Area Plans, etc.</del> <u>[List the future area plans here]</u>			
	4	Specific	Corridor Study/Plan; Site Master Plan or Regulating Plan; Campus Master Plan; Concept Plans; etc.		4	Specific	Corridor Study/Plan; Site Master Plan or Regulating Plan; <u>Texas State University</u> , Campus Master Plan; Concept Plans; <u>Historic Resources Survey</u> ; <u>Strategic Housing Action Plan (upon adoption)</u> etc.			
203.	Level 1: The Comprehensive Plan is developed in collaboration with community members, departments across the City, elected and appointed officials, partner agencies, and other community and regional partners to provide the highest policy level guidance for future development and redevelopment, infrastructure improvements and other public investments, transportation and land use connections, and a host of			155	Level 1: The Comprehensive Plan is developed in collaboration with community members, departments across the City, elected and appointed officials, partner agencies, and other community <del>and regional</del> partners. <u>This plan is</u> to provide the highest policy level guidance for future development and redevelopment, infrastructure improvements and other public investments, transportation and land use connections, and a host of factors contributing to quality of life, affordability, equity and sustainability.			113	Stylistic	

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	factors contributing to quality of life, affordability, equity and sustainability.					
204.	<p><b>Level 2: Citywide Strategic and Action Plans</b> direct specialized components of city planning and implementation such as transportation, infrastructure, economic development, parks and recreation, housing, natural resources, and sustainability. City-wide plans that address a specific system or topic must align with and support the vision, goals, policies, and place guidance in the Vision SMTX Comprehensive Plan. Citywide Plans typically come in two varieties, although variations exist and sometimes the two primary types of plans are combined. <b>Strategic Plans</b> build on the higher-level policy guidance and direction set in the Level 1 Comprehensive Plan and set more specific goals, objectives, policy direction and performance measures/metrics for a specific topic with consideration for the entire City.</p>	155	<p><b>Level 2: Citywide <del>Strategic Master and Action</del> Plans</b> direct specialized components of city planning and implementation such as transportation, infrastructure, economic development, parks and recreation, housing, natural resources, and sustainability. City-wide plans that address a specific system or topic <u>should be brought into alignment</u> <del>must align</del> with and support the vision, goals, policies, and place guidance in the Vision SMTX Comprehensive Plan <u>as each plan is updated</u>. <del>Citywide Plans typically come in two varieties, although variations exist and sometimes the two primary types of plans are combined.</del> <b>Strategic Master Plans</b> build on the higher-level policy guidance and direction set in the Level 1 Comprehensive Plan and set more specific goals, objectives, policy direction and performance measures/metrics for a specific topic with consideration for the entire City.</p>	113	Stylistic	
205.	<p>As Strategic and Action Plans are updated in the coming years, there are several ways they incorporate direction provided by the Comprehensive Plan Rewrite, including:</p> <ul style="list-style-type: none"> <li>• ...</li> <li>• Utilizing updated projections for population, housing units, and employment</li> <li>• Basing updated and new infrastructure investments on the Preferred Growth Scenario (Section 3 of the Plan)</li> <li>• Developing tailored standards and guidelines for various areas of the community utilizing Place Types to inform organization and content (Section 3 of the Plan)</li> </ul>	155	<p><del>As</del> <del>Strategic Master and Action</del> Plans are updated in the coming years, there are several ways <u>they to</u> incorporate direction provided by the Comprehensive Plan Rewrite, including:</p> <ul style="list-style-type: none"> <li>• ...</li> <li>• Utiliz<u>e</u><del>ing</del> updated projections for population, housing units, and employment</li> <li>• Bas<u>e</u><del>ing</del> updated and new infrastructure investments on the Preferred Growth Scenario (Section 3 of the Plan)</li> <li>• Develop<u>ing</u> tailored standards and guidelines for various areas of the community utilizing Place Types to inform organization and content (Section 3 of the Plan)</li> <li>• ...</li> </ul>	113	Stylistic	

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	<ul style="list-style-type: none"> <li>...</li> </ul> <p>In addition, Strategic and Action Plans should evaluate, coordinate, and incorporate specific direction for topics provided by adopted Area Plans (see below).</p>		In addition, <del>Strategic Master and Action</del> Plans should evaluate, coordinate, and incorporate specific direction for topics provided by adopted Area Plans (see <del>below</del> <u>next</u> ).			
206.	<p><b>Level 3: Area Plans</b></p> <p>...</p> <p>The purpose of Area Plans is to engage and unite neighborhoods to plan their own communities within a framework that efficiently and effectively uses the resources available to ensure the entire City has neighborhood level input and guidance for more specific localized recommendations. Guidance for aligning the Area Plans with the Comprehensive Plan is provided in the previous section focused on Area Planning (Section 4 of the Plan).</p>	156	<p><b>Level 3: Area Plans</b></p> <p>...</p> <p>The purpose of Area Plans is to engage and unite neighborhoods to plan their own communities within a framework that <del>efficiently and effectively</del> uses the resources available to ensure <u>input and guidance from neighborhoods the entire City has neighborhood level input and guidance for more</u> specific localized recommendations. <u>Guidance for aligning the Area Plans with the Comprehensive Plan is provided in the previous section focused on Area Planning (Section 4 of the Plan).</u> <u>Area Plans will include Neighborhood Character Studies when applicable.</u></p>	114	Stylistic	
207.	<p><b>Level 4: Specific Plans</b> Plans address smaller scale, targeted geographies and are focused on implementation. They should be guided by higher order plans (Levels 1, 2, and 3 above), but generally focus on further conceptualizing, planning and sometimes designing a specific small geography. Thus, the Strategic and Action Plans, and Area Plans typically provide the relevant guidance and direction for a single large property, a grouping of properties, or a place. Prioritization of Specific Plan efforts should be informed by the Comprehensive Plan's Preferred Growth Scenario and associated Place Types and Centers framework.</p>	156	<p><b>Level 4: Specific Plans</b> <del>Plans</del> address smaller scale, targeted geographies and are focused on implementation. They should be guided by higher order plans (Levels 1, 2, and 3 above), but generally focus on further conceptualizing, planning and sometimes designing a specific small geography. <del>Thus, the Strategic and Action Plans, and Area Plans typically provide the relevant guidance and direction for a single large property, a grouping of properties, or a place.</del> Prioritization of Specific Plan efforts should be <u>informed-guided</u> by the Comprehensive Plan's Preferred Growth Scenario and associated <u>Place Types and Regional, Community, and Neighborhood Centers framework.</u></p>	115	Stylistic	

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208.	<b>EXISTING REGULATIONS</b> The City Charter in summary states the Comprehensive Plan must be adopted by ordinance and used as a guide for growth and development as well as preservation and open space. City ordinances should be consistent with the plan. Review of the plan must be ongoing, and any changes must go through the public hearing process outlined in the Development Code.	156	<b>EXISTING REGULATIONS</b> The City Charter in summary states the Comprehensive Plan must be adopted by ordinance and used as a guide for growth and development as well as preservation <del>and of</del> open space. <a href="#">The Comprehensive Plan is reviewed by the Planning and Zoning Commission who makes a recommendation to the City Council regarding adoption.</a> City ordinances should be consistent with the plan. Review of the plan must be ongoing, and any changes must go through the public hearing process outlined in the Development Code. <a href="#">Area Plans are considered part of the Comprehensive Plan, so those plans will also be reviewed by the Planning and Zoning Commission to make a recommendation to the City Council regarding adoption</a>	114	Stylistic	
209.	<b>RELATIONSHIP TO THE CAPITAL IMPROVEMENT PLAN</b> The Capital Improvement Plan (CIP) is a multi-year schedule for the construction or substantial renovation of public facilities such as city-owned buildings, utility expansion, drainage and stormwater projects, multimodal infrastructure, including roads. ... In addition, the Plan lays out an updated and comprehensive set of goals the community wants to achieve in the next 20 years The plan also introduces Place Types and an updated Preferred Growth Scenario for considering where and how investments should be made in the community to achieve desired land use patterns and to address disparities and inequities.	157	<b>RELATIONSHIP TO THE CAPITAL IMPROVEMENT PLAN</b> The Capital Improvement Plan (CIP) is a multi-year schedule for the construction or substantial renovation of public facilities such as city-owned buildings, utility expansion, drainage and stormwater projects, <a href="#">and</a> multimodal infrastructure, including roads. ... In addition, the <a href="#">Comprehensive</a> Plan lays out an updated and comprehensive set of goals the community wants to achieve in the next 20 years The <a href="#">Comprehensive p</a> Plan also introduces Place Types and an updated Preferred Growth Scenario for considering where and how investments should be made <del>in the community</del> to achieve desired land use patterns and to address disparities and inequities.	115	Stylistic	



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210.	<b>ANNEXATION AND THE EXTRATERRITORIAL JURISDICTION</b> Annexation decisions should be policy driven and evaluated in terms of how it fits with the annexation-related goals and policies of the Comprehensive Plan. ... The purpose of the ETJ is to allow cities to plan for growth in the area outside their corporate boundaries.	158	<b>ANNEXATION AND THE EXTRATERRITORIAL JURISDICTION (ETJ)</b> Annexation decisions should be policy driven and evaluated in terms of <del>how it fits with</del> the annexation-related goals and policies of the Comprehensive Plan. ... The purpose of <del>the an</del> ETJ is to allow cities to plan for growth in the area outside their corporate boundaries.	116	Stylistic	
211.	The analysis helped identify which Place Types were beneficial to the City's fiscal health and the locations within the City's extra-territorial jurisdiction (ETJ) that are more costly to serve. The analysis results illustrate the importance of a balanced land use plan that accommodates real estate market demands, but within land use patterns that are more cost effective to serve for the City. The fiscal impact findings for each Place Type are provided in Chapter 3. Second, the net fiscal impact of the Preferred Growth Scenario was compared to the Existing Trends scenario that illustrated the continuation of recent development patterns. The fiscal impact analysis of the scenarios found that the Preferred Growth Scenario produces a net positive annual impact on the City's General Fund (\$3.9 million annually, which is 3.9% of estimated total new annual expenditures). The Preferred Growth Scenario also produced a greater net positive fiscal benefit to the City than the Existing Trends scenario. The Preferred Growth Scenario provides for a greater diversity of housing and lower potential for low density/intensity employment uses. This growth pattern	159	The analysis helped identify which Place Types were beneficial to the City's fiscal health and <del>which the</del> locations within the City's extra-territorial jurisdiction (ETJ) <del>that</del> are more costly to serve. The analysis <del>results</del> illustrates the importance of a balanced land use plan that accommodates real estate market demands, but within land use patterns that are more cost effective to serve <del>for the City</del> . The fiscal impact findings for each Place Type are provided in <del>Chapter 3</del> <del>the Appendix for 2023</del> . <del>Second, the net fiscal impact of the Preferred Growth Scenario was compared to the Existing Trends scenario that illustrated the continuation of recent development patterns.</del> The fiscal impact analysis of <del>the scenarios</del> found that the Preferred Growth Scenario produces a net positive annual impact on the City's General Fund (\$3.9 million annually, which is 3.9% of estimated total new annual expenditures). <del>The Preferred Growth Scenario also produced a greater net positive fiscal benefit to the City than the Existing Trends scenario.</del> The Preferred Growth Scenario provides for a greater diversity of housing and <del>lower</del> potential for <del>low</del> <del>higher</del> density/intensity employment uses. This growth pattern produces a more cost-effective built environment for the City to serve.	117	Notable	

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	produces a more cost-effective built environment for the City to serve.					
212.	<p>Lastly, the fiscal impact analysis identified a few major findings related to the location of growth that impact land use and future annexation decisions.</p> <ul style="list-style-type: none"> <li>The City of San Marcos' ETJ is within four different counties (Caldwell, Comal, Guadalupe, and Hays). Most of San Marcos and its future growth potential is within Hays County, which is more convenient for service provision since San Marcos is the Hays County seat. Growth in the other three counties produces greater service costs (especially for police service).</li> <li>The location of growth significantly impacts the effectiveness and cost of fire service. Fire service effectiveness is driven by a few key factors including response time to calls for service and the utilization of firefighter units and apparatus.</li> </ul>	160	<p>Lastly, the fiscal impact analysis identified <del>a few</del> major findings related to the location of growth that impact land use and future annexation decisions.</p> <ul style="list-style-type: none"> <li><del>The City of San Marcos' ETJ is within four different counties (Caldwell, Comal, Guadalupe, and Hays). Most of San Marcos and its future growth potential is within Hays County, which is more convenient for service provision since San Marcos is the Hays County seat. Growth in the other three counties produces greater service costs (especially for police service).</del></li> <li>The location of growth significantly impacts the effectiveness and cost of fire service. Fire service effectiveness is driven by <del>a few key factors including</del> response time to calls for service and the utilization of firefighter units and apparatus. Development that is far from existing fire stations (i.e., with a response time greater than four to six minutes) impacts response times and utilization of units. New development outside existing fire station service areas has a much greater cost to serve as it will generate the need for new stations and firefighter staffing.</li> <li><u>The location of growth also impacts police response as new developments are farther from the core of the city. Response times will be longer, and this generates the need for more districts and more officers. In addition, t</u><del>The City of San Marcos' ETJ is within four different counties (Caldwell, Comal, Guadalupe, and Hays). Most of San Marcos and its future growth potential is within Hays County, which is more convenient for service provision since San Marcos is the Hays County seat. Growth that occurs in Caldwell, Comal, and Guadalupe</del></li> </ul>	118	Notable	

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			<del>counties within the San Marcos ETJ the other three counties</del> produces greater service costs than Hays County. This includes farther distances that may need to be traveled to coordinate or process incidents. <del>(especially for police service).</del>			
213.	<b>CROSS DEPARTMENT AND AGENCY COORDINATION</b> The success of the Vision SMTX process can in part be attributed to the fact that the Plan was not only developed by the P&DS Department. ... Moving forward into Plan implementations, it will be important to continue collaborating across departments and agencies to ensure that resources are prioritized appropriately, collective impacts are realized, responsibilities are assigned appropriately, and the San Marcos community's short-, medium-, and long-term vision are represented in all local and regional discussions and decision-making.	163	<b>CROSS DEPARTMENT AND AGENCY COORDINATION</b> The success of the Vision SMTX process can in part be attributed to the fact that the Plan was not <del>only</del> developed <u>only</u> by the P&DS Department. ... Moving forward into Plan implementations, it will be important to continue collaborating across departments and agencies to ensure that resources are prioritized appropriately, collective impacts are realized, responsibilities are assigned appropriately, and the <del>San Marcos</del> community's <del>short-, medium-, and long-term</del> vision are represented in all local and regional discussions and decision-making.	119	Stylistic	
214.	<b>IMPLEMENTATION COMMITTEE</b> The level of community engagement and cross-department and agency coordination that has occurred in the development of the Vision SMTX Comprehensive Plan can provide a strong foundation for ongoing collaboration for aligning implementation efforts, leveraging available resources, ensuring maximum collective impact, and ensuring accountability. The composition of an Implementation Committee appointed by City Council should include community representatives and representatives of various departments, agencies and organizations that participated in crafting the plan. The Implementation Committee should	164	<del><b>IMPLEMENTATION OVERSIGHT COMMITTEE</b></del> The level of community engagement and cross-department and agency coordination that has occurred in the development of the Vision SMTX Comprehensive Plan can provide a strong foundation for ongoing collaboration for <del>aligning</del> implementation efforts, leveraging available resources, ensuring maximum collective impact, and ensuring accountability. The <del>composition of an Implementation Comprehensive Plan Oversight</del> Committee appointed by City Council should include community representatives and <del>representatives of various departments</del> , agencies and organizations that participated in crafting the plan. The <del>Implementation Comprehensive Plan Oversight</del> Committee should meet at least <del>annually</del> , <u>regularly</u> contribute to an	122	Stylistic	

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
	meet at least annually, contribute to an annual reporting of implementation progress and evaluation metrics, serve as stewards of the Comprehensive Plan, and ensure future efforts are aligned with the Comprehensive Plan.		annual reporting of implementation progress and evaluation metrics, serve as stewards of the Comprehensive Plan, and ensure future efforts are aligned with the Comprehensive Plan.			
215.	<b>Additional roles of the Implementation Committee may include:</b> <ul style="list-style-type: none"> <li>- Sharing of process and content updates related to Strategic and Action Plans; Area Plans; and Specific Plans</li> <li>- Participating in Area Planning</li> <li>- Coordinating existing and new programs recommended in the Comprehensive Plan or targeted at achieving a Plan goal and objectives</li> <li>- Identifying and/or discussing potential Plan amendments, including adjustments to the Preferred Growth Scenario</li> </ul>	164	<b>Additional roles of the <del>Implementation</del> Comprehensive Plan Oversight Committee may include:</b> <ul style="list-style-type: none"> <li>- Sharing of process and content updates related to <del>Strategic Master and Action</del> Plans; Area Plans; and Specific Plans</li> <li>- Participating in Area Planning <u>to ensure Area Plans are completed in a timely manner</u></li> <li>- Coordinating <del>existing and new</del> programs recommended in the Comprehensive Plan or targeted at achieving <del>a Plan goal</del>s and objectives</li> <li>- Identifying and/or discussing potential Plan amendments, <del>including adjustments to the Preferred Growth Scenario</del></li> </ul>	122	Stylistic	
216.	<b>TRACKING PROGRESS</b> Each element of the Comprehensive Plan includes a set of objectives. These objectives are intended to measure changes that are desired as a result of the goals and policies associated with each goal. A target metric needs to be identified and defined for each objective including the data source and methodology for measurement. The objective measurements should be updated annually to track the success of the Plan. In addition, tracking of implementation by mapping and otherwise illustrating which major policies (from Section 2) and places (from Section 3) have been implemented.	165	<b>TRACKING PROGRESS</b> Each element of the Comprehensive Plan includes a set of <del>objectives</del> <u>considerations</u> . These <del>objectives</del> <u>considerations</u> are intended to measure changes that are desired as a result of the goals and policies associated with each goal. A target metric <del>needs to</del> <u>will</u> be identified and defined for each <del>objective</del> <u>consideration</u> including the data source and methodology <del>for the</del> measurement. <u>P&amp;DS will update annually</u> <del>The objective measurements should be updated annually</del> to track the success of the Plan. In addition, tracking of implementation by mapping and otherwise illustrating which major policies (from Section 2) and places (from Section 3) have been implemented.	123	Stylistic	

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
217.	The Implementation Committee can help to define the methodology for measurement and tracking of the objectives.	165	The <del>Implementation Comprehensive Plan Oversight</del> Committee <del>can will help to</del> define the methodology for measurement and tracking of the <del>objectives</del> <u>considerations</u> .	123	Stylistic	
218.	<b>Accessory Dwelling Unit (ADU)</b> A structure contained within or separate from the main structure on a single-family or two-family lot that contains separate living quarters, including cooking, sleeping, and bathroom facilities. An ADU can be a separate structure, or attached as in a garage apartment or garden apartment which includes a separate entrance. An ADU may be occupied by extended members of a family (such as a grandparent) or by persons unrelated to the owners or occupants of the main structure on the lot. ADUs can be a relatively inexpensive way to add dwelling units in existing neighborhoods without changing its character.	167	<b>Accessory Dwelling Unit (ADU)</b> A structure contained within or separate from the main structure on a single-family or two-family lot that contains separate living quarters, including cooking, sleeping, and bathroom facilities. An ADU can be a separate structure, or attached as in a garage apartment or garden apartment which includes a separate entrance. <del>An ADU may be occupied by extended members of a family (such as a grandparent) or by persons unrelated to the owners or occupants of the main structure on the lot. ADUs can be a relatively inexpensive way to add dwelling units in existing neighborhoods without changing its character.</del>	125	Notable	
219.	N/A		<u><b>Add definition for Complete Community.</b></u>  <u><b>Complete Community</b></u> <u>A community with a variety of places in close proximity to each other that provide opportunities for people to live, work, and play and include high-quality parks, open space, pedestrian and bicycle facilities, parking, and other community benefits.</u>	125		Staff drafted the definition using text from the document.
220.	<b>Cottage Cluster</b> A group of homes, generally one or two stories that are clustered and arranged around a common open space.	167	<del><b>Cottage Cluster</b></del> <del>A group of homes, generally one or two stories that are clustered and arranged around a common open space.</del>	n/a	Notable	
221.	<b>Equitable</b> While equality implies treating everyone the same, equity includes the understanding that each community and part of a community has different challenges when it comes to access to various opportunities, and adapting our policies and actions based on those	167	<del><b>Equitable</b></del> <del>While equality implies treating everyone the same, equity includes the understanding that each community and part of a community has different challenges when it comes to access to various opportunities, and adapting our policies and actions</del>	n/a	Notable	

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
	differences to respond to unique needs and create more inclusive access.		<del>based on those differences to respond to unique needs and create more inclusive access.</del>			
222.	<b>Goals</b> Priority outcomes that the community wants to accomplish.	168	<del><b>Goals</b> Priority outcomes that the community wants to accomplish.</del>	n/a	Notable	
223.	<b>Historic Structure</b> Any structure that is: <ol style="list-style-type: none"> <li>Listed individually in the National Register of Historic Places (a listing maintained by the Department of Interior) or preliminarily determined by the Secretary of the Interior as meeting the requirements for individual listing on the National Register;</li> <li>Certified or preliminarily determined by the Secretary of the Interior as contributing to the historical significance of a registered historic district or a district preliminarily determined by the Secretary to qualify as a registered historic district;</li> <li>Individually listed on a state inventory of historic places in accordance with state historic preservation programs that have been approved by the Secretary of the Interior; or</li> <li>Individually listed on a local inventory of historic places in communities with historic preservation programs that have been certified either by the Secretary of the Interior or by an approved state program as determined by the Secretary of the Interior.</li> </ol>	168	<del><b>Historic Structure</b> Any structure that is: <ol style="list-style-type: none"> <li>Listed individually in the National Register of Historic Places (a listing maintained by the Department of Interior) or preliminarily determined by the Secretary of the Interior as meeting the requirements for individual listing on the National Register;</li> <li>Certified or preliminarily determined by the Secretary of the Interior as contributing to the historical significance of a registered historic district or a district preliminarily determined by the Secretary to qualify as a registered historic district;</li> <li>Individually listed on a state inventory of historic places in accordance with state historic preservation programs that have been approved by the Secretary of the Interior; or</li> <li>Individually listed on a local inventory of historic places in communities with historic preservation programs that have been certified either by the Secretary of the Interior or by an approved state program as determined by the Secretary of the Interior.</li> </ol> </del>	n/a	Notable	
224.	<b>Mid-Rise Buildings</b> Tends to describe buildings that are five to eight stories in height, but can be used to describe three and four story buildings as well, depending on context.	168	<del><b>Mid-Rise Buildings</b> Tends to describe buildings that are five to eight stories in height, but can be used to describe three and four story buildings as well, depending on context.</del>	n/a	Notable	



Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
225.	<b>Middle Density (or Missing Middle)</b> Development that is built at moderate density, including formats such as two-family housing (duplexes), three-family housing (triplexes), four-family housing (fourplexes), two-or-three story apartment buildings (often with street-level retail on the ground floor), and smaller-scale retail and office development that supports walkable neighborhoods. Middle-density development can be less costly to serve with infrastructure such as water and sewer than lower-density single-family development and often is compatible within and on the fringes of lower-density development such as single-family (detached) homes. The increased population density supports the City's goal to create walkable neighborhoods that provide housing in a variety of formats, size, and prices and support neighborhood-level retail and smaller parks. Middle-density development fills the gap between subdivisions that are largely single-family detached homes, and large multi-story apartment buildings, large retail complexes, or office parks.	169	<b>Middle Density (or Missing Middle)</b> Development that is built at moderate density, including formats such as two-family housing (duplexes), three-family housing (triplexes), four-family housing (fourplexes), two-or-three story apartment buildings (often with street-level retail on the ground floor), and smaller-scale retail and office development that supports walkable neighborhoods. Middle-density development can be less costly to serve with infrastructure such as water and sewer than lower-density single-family development and often is compatible within and on the fringes of lower-density development such as single-family (detached) homes. The increased population density supports the City's goal to create walkable neighborhoods that provide housing in a variety of formats, size, and prices and support neighborhood-level retail and smaller parks. Middle-density development fills the gap between subdivisions that are largely single-family detached homes, and large multi-story apartment buildings, large retail complexes, or office parks.	n/a	Notable	
226.	<b>Missing Middle Housing</b> The residential component of middle density neighborhoods. Missing middle housing includes a range of housing types that are missing in most neighborhoods constructed in the last 70 years because they were prohibited by many zoning ordinances and disfavored by the housing development and financing market. Types of housing that qualify as the missing middle include two-family housing (duplexes), three-family housing (triplexes), four-family housing (fourplexes), townhouses, cottage homes, and live-work buildings.	169	<b>Missing Middle Housing</b> The residential component of middle density neighborhoods. Missing middle housing includes a range of housing types that are missing in most neighborhoods constructed in the last 70 years because they were prohibited by many zoning ordinances and disfavored by the housing development and financing market. Types of housing that qualify as the missing middle include two-family housing (duplexes), three-family housing (triplexes), four-family housing (fourplexes), townhouses, cottage homes, smaller two- and three-story apartment buildings, and live-work buildings. This	n/a	Notable	

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
	smaller two- and three-story apartment buildings, and live-work buildings. This type of housing often supports a variety of different sizes and price points. Individual missing-middle housing projects can be appropriate infill development in existing neighborhoods. They can gently increase density in existing neighborhoods served by utilities without impairing neighborhood identity or charm.		<del>type of housing often supports a variety of different sizes and price points. Individual missing-middle housing projects can be appropriate infill development in existing neighborhoods. They can gently increase density in existing neighborhoods served by utilities without impairing neighborhood identity or charm.</del>			
227.	<b>Objectives</b> Metrics for measuring progress toward implementing goals and/or policies.	169	<del>Objectives</del> <b>Considerations</b> Metrics for measuring progress toward implementing goals and/or policies.	n/a	Stylistic	
228.	<b>Placemaking</b> Placemaking inspires people to collectively reimagine and reinvent public spaces as the heart of every community. Strengthening the connection between people and the places they share, placemaking refers to a collaborative process by which we can shape our public realm in order to maximize shared value. More than just promoting better urban design, placemaking facilitates creative patterns of use, paying particular attention to the physical, cultural, and social identities that define a place and support its ongoing evolution.	169	<b>Placemaking</b> Placemaking inspires people to collectively reimagine and reinvent public spaces <del>as the heart of every</del> community. Strengthening the connection between people and the places they share, placemaking refers to a collaborative process by which we can shape our public realm in order to maximize shared value. More than just promoting better urban design, placemaking facilitates creative patterns of use, paying particular attention to the physical, cultural, and social identities that define a place and support its ongoing evolution.	126	Stylistic	
229.	<b>Policies</b> Statements that identify how goals can be reached, including the specific intent of the goal direction as it relates to more specific topics or subtopics.	170	<del>Policies</del> <del>Statements that identify how goals can be reached, including the specific intent of the goal direction as it relates to more specific topics or subtopics.</del>	n/a	Notable	
230.	N/A	N/A	<b>Sustainable Development</b> <u>Development that meets the needs of the present without compromising the resources needed for future generations.</u>	126	Notable	

Item #	Vision SMTX	Pg#	Alternative Plan	Pg#	Type of Change	Staff Comments
231.	<b>Transit-Oriented Development (TOD)</b> A pattern of higher-density residential, commercial, office, and civic uses with an urban design and high-quality support for walking, bicycling, transit use and other forms of non-vehicular transportation, developed near high-performance transit stations. Transit-oriented development (TOD) is often encouraged using special development regulations around transit stations which require a higher-quality public realm, limited parking, and connections to adjoining neighborhoods.	170	<del><b>Transit-Oriented Development (TOD)</b></del> <del>A pattern of higher-density residential, commercial, office, and civic uses with an urban design and high-quality support for walking, bicycling, transit use and other forms of non-vehicular transportation, developed near high-performance transit stations. Transit-oriented development (TOD) is often encouraged using special development regulations around transit stations which require a higher-quality public realm, limited parking, and connections to adjoining neighborhoods.</del>	n/a	Notable	
232.	<b>Transit Supportive Development</b> An alternative name for Transit-Oriented Development (see above) that places an emphasis on linking adjacent land uses and activities to a transit station or station area.	170	<del><b>Transit Supportive Development</b></del> <del>An alternative name for Transit-Oriented Development (see above) that places an emphasis on linking adjacent land uses and activities to a transit station or station area.</del>	n/a	Notable	
233.	<b>Underserved Areas</b> A community in which the residents lack resources or the infrastructure (either public or private) is undeveloped, leading to disparities in the ability to access health care, jobs, recreation, social services, housing, transportation services, food, retail, or other elements of daily life.	170	<b>Underserved Areas</b> A community in which the residents lack resources or the infrastructure (either public or private) <del>is undeveloped</del> , leading to disparities in the ability to access health care, jobs, recreation, social services, housing, transportation services, food, retail, or other elements of daily life.	126	Stylistic	

## Additional Submitted Amendments

Item #	Vision SMTX Page #	Alternative Draft Page #	Suggested Revision	Type of Change	Staff Comments
234.	62	54	<b>LU-4.4:</b> Adopt standards for impervious cover limits for all of the city and extra-territorial jurisdiction to minimize flooding, <a href="#">protect water quality, and preserve recharge of groundwater. As part of this policy development, consider using net site area in lieu of gross site area to take into account areas of a site that are undevelopable and adopt lower limits for areas that are environmentally sensitive.</a>	Notable	Staff does not recommend the adoption of the second sentence without prior evaluation of the impacts. It is recommended that this is evaluated as part of the Development Code update. Staff's recommendation is as follows:  <b>LU-4.4:</b> Adopt standards for impervious cover limits for all of the city and extra-territorial jurisdiction to minimize flooding, <a href="#">protect water quality, and preserve recharge of groundwater.</a>
235.	53	45	ENV-1.5: Establish riparian buffer zones <a href="#">and enhanced setbacks</a> for resource protection of rivers, creeks, retention ponds, and flood mitigation areas.	Notable	Staff has no issue with the proposed language.
236.	54 (proposed)	46 (proposed)	<a href="#">ENV-3.#: Adopt a dark skies ordinance to mitigate harassment of wildlife and preserve rural character.</a>	Notable	Staff has no issue with the proposed language.
237.	69 (proposed)	61 (proposed)	<a href="#">TR-1.6: Eliminate the extension and expansion of W Centerpoint Rd. (i.e., the "western loop") over and through the Edwards Aquifer Recharge and Contributing Zones.</a>	Notable	Staff does not recommend the adoption of this revision and recommends evaluating this as part of the Transportation Master Plan update.
238.	123	95	Change the Place Type from Neighborhood-Low to Mixed Use-Low on the highlighted parcels along Post Road.	Notable	Staff has no issues with the proposed change. Post Road is a major corridor and could warrant some mixed use along the roadway to support existing residences. In addition, the highlighted parcels are between two existing Mixed Use-Low Place Type designated parcels on the Preferred Growth Scenario Map.

March 30, 2023

San Marcos Planning and Zoning Commission  
630 E. Hopkins  
San Marcos, Texas 78666

RE: 1500 Block of Post Road Redesignation

P&Z Commissioners;

We, the undersigned property owners, request that the Planning and Zoning Commission designate the 1500 block of Post Road as Mixed-Use Low Place Type designation. In support of our request, we submit the following for consideration.

- The undersigned represent the majority of property within this block (see attached exhibit for highlighted lots and parcels.
- The new Preferred Scenario Map is already proposing Mixed-Use Low designation at the corner of Lime Kiln and at the corner of Spring Road.
- The designation of the entire block will provide for additional area for a true mixed-use project with adequate area for shops, housing, and parking.
- The development along Post Road to the northeast of this area is predominantly high density residential. This area will provide opportunities for shops and commercial services to be within easy walking or biking distances of these population centers.
- The current single-family use of the properties is inappropriate due to the high traffic on Post Road and the conflicts caused by multiple single-family curb cuts (vehicles backing into the street).
- The Mixed-Use Low Place Type is intended to provide smaller concentrations of shops, restaurants, and neighborhood-oriented services to service nearby neighborhoods of various intensities. This area is ideally positioned to provide these services to the adjacent high density residential projects.

Thank you for your consideration.

Shelton Eubanks 3/30/23

Shelton Eubanks  
sheltoneubanks@hotmail.com

Bernie Bowden 3-30-23

3/30/23

Bernie Bowden  
berniewbowden@gmail.com

Eva Campos Kocher





Eva Campos  
isabellr36@yahoo.com

Medora Barkley 3/30/23

Medora Barkley  
medora@barkleyhouses.com





	<b>Bernie Bowden</b> 110 Lime Kiln Road 1505, 1517, 1519 Post Road (Plus the strip of land in the rear)
	<b>Medora Barkley</b> 1515 Post Road
	<b>Eva Campos</b> 1537 Post Road
	<b>Shelton Eubanks</b> 1521, 1523, 1525, 1529, 1531, and 1535 Post Road



## Subject Properties 1500 Block of Post Road

Date: 3/29/2023 • Aerial imagery acquired 1Q 2016 • Data Sourced from XXX • To scale at 1in=17 • Project Number: XXXX-XXX

### Ownership Legend

	Bernie Bowden		Eva Campos
	Medora Barkley		Shelton Eubanks



0 125 250 500  
FT  
**1in = 250ft**

Source: All information has been generated for informational purposes only. Data has been compiled from various sources and should not be construed as an endorsement or approval of the information. Data is subject to change without notice. Data is not to be used for any purpose other than that for which it was collected. Data is not to be used for any purpose other than that for which it was collected. Data is not to be used for any purpose other than that for which it was collected.





*These areas are characterized by smaller commercial centers that are walkable and typically embedded in or near neighborhoods so that residents have convenient, safe, and equitable access to services. They should be distributed throughout the city, such as along corridors and near major intersections.*

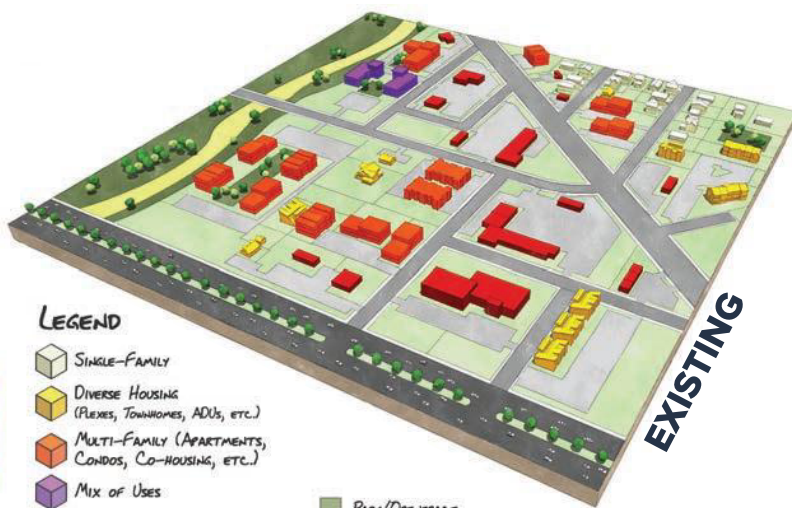
The Mixed Use Low Place Type is intended to provide smaller concentrations of shops, restaurants, and neighborhood-oriented services to serve nearby neighborhoods of various intensities. The mix of uses may also include housing next to or integrated with commercial uses. The footprint of mixed use low places can vary from a single intersection to a neighborhood-serving main street. It is less common, but mixed use low places may also include more traditional shopping centers that are smaller in scale and either curated or retrofitted to include a variety of uses (and potentially housing) that are attractive to nearby residents.

**Land Use:** Primarily smaller scale commercial and mixed use development, sometimes with residential condominiums or apartments above the ground floor; also, townhomes and multiplexes may be intermixed with commercial and mixed land uses

**Built Form:** Typically 2-4 stories, but sometimes lower scale at a single story; the height, orientation of buildings, and mix of uses is often determined by the surrounding context and character of adjacent roadways; the typical density is 8-15 housing units per acre and 10 jobs per acre with some housing potentially integrated

**Mobility:** More urban or integrated Mixed Use Low places are typically situated along or at an intersection of roads with a reasonable amount of multi-modal traffic; older shopping centers that have evolved into Mixed Use Low places typically are set back from the street and provide off-street surface parking

**Amenities:** Due to their scale, smaller amenities are typically integrated into the place or immediately adjacent. Small parks, plazas, and public art can help establish a sense of place and strengthen identity

**LEGEND**

- SINGLE-FAMILY
- DIVERSE HOUSING (PLEXES, TOWNHOMES, ADUs, ETC.)
- MULTI-FAMILY (APARTMENTS, CONDOS, CO-HOUSING, ETC.)
- MIX OF USES
- COMMERCIAL
- INSTITUTIONAL/COMMUNITY USE
- HOSPITALITY
- PARK/OPENSOURCE
- GREENWAY
- PLAZA/PEDESTRIAN SPACE
- SURFACE PARKING/DRIVEWAY

Existing Mixed Use Low areas tend to be a collection of smaller single use areas with little to no relationship to each other. The lack of identity and organization often results in no real center of gravity for the collection of buildings and uses. In certain instances, the lack of a legible form may be exacerbated by a large number of off-street surface parking lots, making walking to or around the place challenging or undesirable. Connectivity infrastructure is also frequently poor between destinations within the mixed use low place unless you are driving.

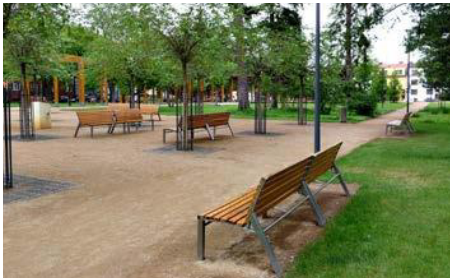
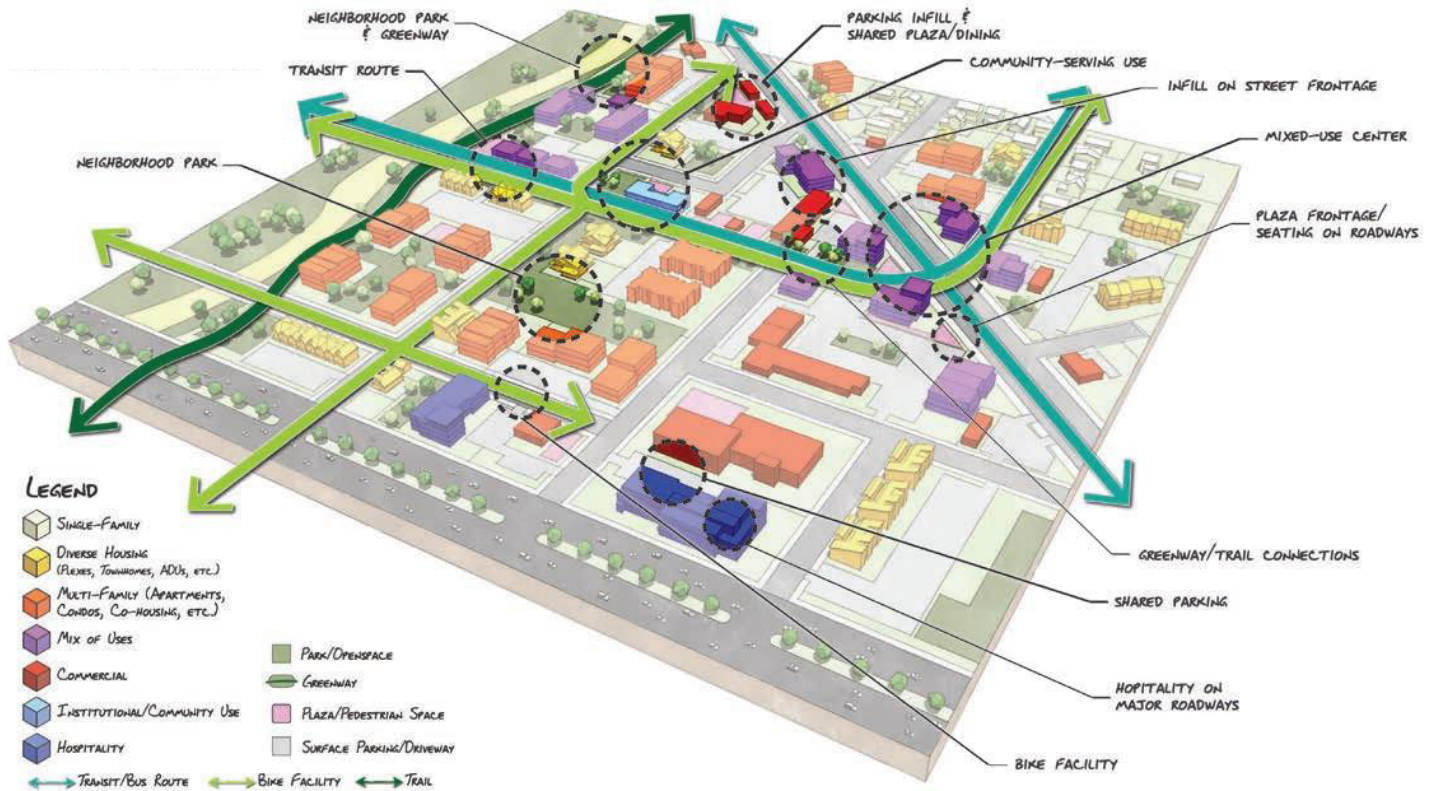
**LEGEND**

- SINGLE-FAMILY
- DIVERSE HOUSING (PLEXES, TOWNHOMES, ADUs, ETC.)
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- SURFACE PARKING/DRIVEWAY

Mixed Use Low places in San Marcos should have a more legible form that is easy and inviting to navigate no matter how people choose to travel. Mixed Use Low places will provide attractive destinations and services within close proximity to other low to medium intensity places, including neighborhoods and commercial/employment areas. Parking is still provided by on-street options and off-street surfacing parking, but it is not the dominant feature with parking lots typically situated to the side or rear of buildings. Smaller parks and plazas add to the sense of place within Mixed Use Low places.



# HIGHLIGHTS



Neighborhood park



Hospitality along major roadways



Plaza frontage



Well connected bike facilities



Infill of parking lots with street-facing mixed-use buildings



Community serving development



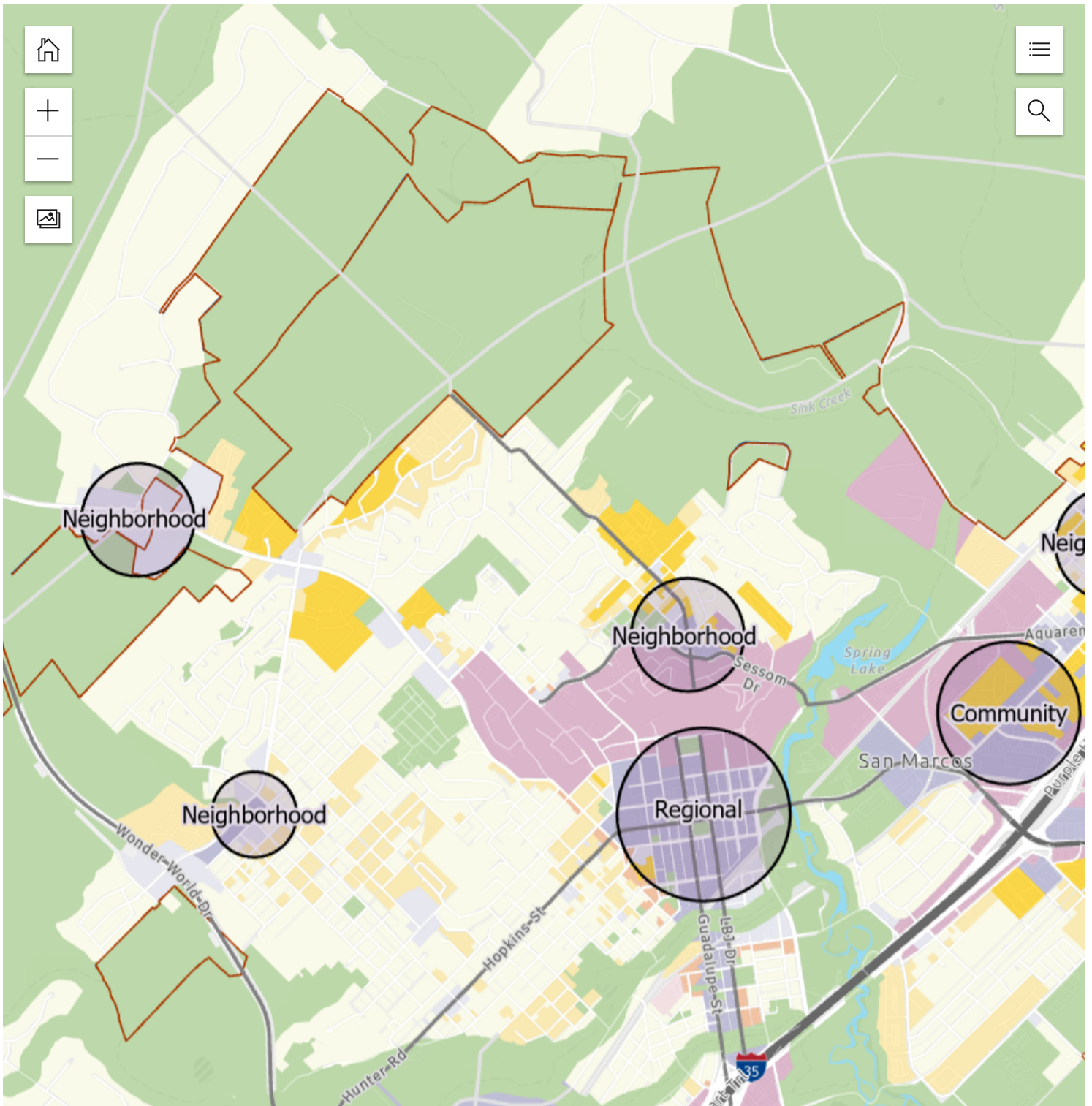
<b>Primary Land Uses</b>	<ul style="list-style-type: none"> <li>• Small to Medium-Scale General Commercial and Mixed Use Development</li> <li>• Upper Story Residential Condos or Apartments</li> <li>• Single Family Attached Housing</li> </ul>
<b>Secondary Land Uses</b>	<ul style="list-style-type: none"> <li>• Small Scale Office</li> <li>• Live-Work</li> <li>• Parks and Open Space</li> <li>• Public/Institutional</li> </ul>
<b>Mobility Characteristics</b>	<ul style="list-style-type: none"> <li>• Typically along an arterial or collector street or central intersection</li> <li>• Mobility hub/s with transit connections embedded along or within</li> <li>• Sidewalks along, within and connecting to</li> <li>• Bike facilities typically connecting and parallel to</li> </ul>
<b>Parking</b>	<ul style="list-style-type: none"> <li>• Primarily on-street and small off-street parking lots (shared parking highly encouraged)</li> <li>• Some self-parked in in garages, carports and driveways</li> </ul>
<b>Parks and Open Space</b>	<ul style="list-style-type: none"> <li>• Neighborhood Parks to provide active and passive recreation opportunities for nearby residents</li> <li>• Community Parks to provide recreational opportunities, as well as integrated stormwater features</li> <li>• Pockets Parks and Plazas to create seating and dining opportunities, activate smaller interstitial spaces, and provide opportunities for placemaking elements</li> </ul>
<b>Desirable Transitions</b>	<ul style="list-style-type: none"> <li>• Neighborhood Medium</li> <li>• Neighborhood Low</li> <li>• Neighborhood Transition</li> <li>• Mixed Use Medium</li> <li>• Commercial/Employment Low</li> <li>• Commercial/Employment Medium</li> </ul>
<b>Fiscal Considerations</b>	<ul style="list-style-type: none"> <li>• Net Positive Fiscal Impact (\$4,493 per acre, \$398 per new person)</li> <li>• Generates greatest net positive impact (per acre and per new person)</li> <li>• Limited potential for growth in this Place Type</li> </ul>

### Overlay Characteristics/Considerations

Historic Resource	New development unlikely and only along arterials and collector roadways
Environmental	Consider limiting size to approximately 5 acres
Cultural Resource	No Development









**From:** [REDACTED]  
**To:** [P&Z Commission](#)  
**Cc:** [Planning Info](#); [Villalobos, Andrea](#)  
**Subject:** [EXTERNAL] Letter of Support Comp Plan and Downtown Plan  
**Date:** Tuesday, April 4, 2023 9:09:17 AM

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Hello Planning and Zoning Commissioners:

I really appreciate the work of this commission in reviewing these two plans with all the detail and information in both. I also reviewed them and know they are substantial. Thank you for all your time and effort on them both.

I am writing this letter to you all knowing that there are upcoming meetings in April (11<sup>th</sup> and 28<sup>th</sup>) where the Comp Plan rewrite and Downtown Area Plan will be discussed.

My letter is in support of the plans that have been prepared. I have served on the both the Comp Plan Steering Committee the Downtown Area Plan committee through this process of rewrite.

As we learned through this two-year process, key elements of blending expected growth into our current boundaries is to keep as much natural areas as possible, preserve the quality of the creeks and river, create equitable housing, and have access to multi modes of transportation. These are BIG goals that the committees and public have spoken loud and clear. To achieve these goals, while providing space for all of the new growth, we had to pull from other cities' recent Comp Plan rewrites to understand concepts of modern urban design and conservation style development. We worked hard to understand these concepts and include them into the plans:

1. allow infill of underutilized spaces,
2. repurpose brownfields (historically contaminated sites such as dry cleaners, gas stations) and grey fields (underutilized commercial areas with grey concrete cover) with new development in Downtown and in town,
3. allow density in areas of non-established neighborhoods and light density in established neighborhoods (such as the Downtown Area and Heritage Neighborhood),
4. reduce impervious cover by promoting density vertically on a smaller footprint versus out in sprawl,
5. include nature-based infiltration practices (permeable pavements, rain gardens, infiltration trenches) and rainwater capture systems in as much new and retrofit development as possible to offset effects of impervious cover. Blend these areas into the landscape features required and desired in developments.
6. Keep impervious cover lower to reduce flooding of neighborhoods and watersheds and protect streams from scouring and having poor water quality.

The preferred scenario uses the least amount of land to "fit" in all of the new growth and the plans incorporate these key elements. Infill, light density (missing middle), and nature-based infrastructure will be key elements to help us achieve our goals of maintaining charm, natural resources, and provide housing that all can afford.

Creating solutions to the rental property fear and the "not in my backyard" fear need to be resolved through policy and leadership, not by going back to the development concepts of the 1960s with

urban sprawl far away from established neighborhoods and downtown was the rule. Please consider adding more tasks along the lines of developing policies, ordinances, and staffing (to regulate/enforce) versus taking out the modern concepts of development that our groups included.

Thank you for considering my thoughts.

Lisa Arceneaux, P.E., CISEC, CPESC

*EAEnvironmental Co.*

*San Marcos, Tx.*



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## Hernandez, Amanda

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**From:** Alex Vogt <[REDACTED]>  
**Sent:** Tuesday, February 28, 2023 11:13 AM  
**To:** Planning\_Info  
**Subject:** [EXTERNAL] Public Comment for P&Z agenda Item 5

Please read this in the public comment:

Hello, I am Alex Vogt, the homeowner at 430 Lindsey st, and I am addressing you on agenda Item 5. I have been honored to have served on the Vision San Marcos Comprehensive plan steering committee and chair of the Parks and Rec Steering committee, and I am highly supportive of the current draft of the Comprehensive plan. An exceedingly public process has produced it, I attended at least ten steering committee meetings and close to 5 or 6 public events, and I know there were at least 100 other events I did not participate in. This demonstrates thorough vetting by the community. I am incredibly concerned that the P&Z is not progressing with the current draft. Also, based on their comments from the meeting on 2/14, they decided to edit the document without reading it. This seems like a mild usurpation of the process.

This plan is timely for the future of San Marcos, which is experiencing unprecedented change. We need all resources to combat housing shortages and inequity, Multimodal Transportation network gaps, and historic population groups. A whole lot of people put a lot of work into this plan. Please go with the city-wide consensus built by staff and the steering committee by adopting the program as is.

Regards,

Alex Vogt

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# REQUESTED AMENDMENTS TO SAN MARCOS COMPREHENSIVE PLAN

*Proposed by the Save Our Springs Alliance*



Topic	Final Draft, Page Reference	Final Draft Language	Requested Amendment	Explanation of Request
Impervious Cover	Page 62	LU-4.4 Adopt standards for impervious cover limits for all of the city and extra-territorial jurisdiction to minimize flooding.	<p>LU-4.4 Adopt standards for impervious cover limits for all of the city and extra-territorial jurisdiction to minimize flooding, <b><u>protect water quality, and preserve recharge of groundwater.</u></b></p> <p><b><u>As part of this policy development, consider using net site area in lieu of gross site area to take into account areas of a site that are undevelopable and adopt lower limits for areas that are environmentally sensitive.</u></b></p>	Impervious cover limits are critical for reducing the amount of stormwater runoff and pollutants that enter into surface water and seep into groundwater. Adopting “net site area,” especially in environmentally sensitive areas would eliminate the possibility of developers using credits from undevelopable land and help reduce overdevelopment.
Creek and River Protection	Page 53	ENV-1.5 Establish riparian buffer zones for resource protection of rivers, creeks, retention ponds, and flood mitigation areas.	ENV-1.5 Establish riparian buffer zones <b><u>and enhanced setbacks</u></b> for resource protection of rivers, creeks, retention ponds, and flood mitigation areas.	Enhanced development setbacks from creeks would help reduce erosion and help preserve water quality.
Dark Skies	Page 54	N/A	<b><u>ENV-3.6 Adopt a dark skies ordinance to mitigate harassment of wildlife and preserve rural character</u></b>	A dark skies ordinance would help mitigate harm to migrating birds, as well as reduce harassment of native wildlife. It also has an important quality of life benefit by preserving the rural aesthetic of San Marcos neighborhoods.
Transportation Planning	Page 69	N/A	<b><u>TR-1.6 Eliminate the extension and expansion of W Centerpoint Rd. (i.e., the “western loop”) over and through the Edwards Aquifer Recharge and Contributing Zones.</u></b>	The western expansion of Centerpoint Rd. is not in line with San Marcos’s growth concept map, pushing intense development over the Edwards Aquifer Recharge and Contributing Zones and requiring additional creek crossings.

\*Language requested to be considered for inclusion in the Comprehensive Plan listed above as underlined and **bold**.

## Hernandez, Amanda

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**From:** Kirsten Bjornson <[REDACTED]>  
**Sent:** Tuesday, February 28, 2023 10:51 AM  
**To:** Planning Info  
**Subject:** [EXTERNAL] Public hearing comment 02/28/2023

As a San Marcos citizen, I would like to add my support on:

1. Removing the proposed "western loop" that would support high-intensity development of the Edwards Aquifer recharge and contributing zones
2. Enlarge creekside buffers to protect water quality and decrease erosion and flooding risks;
2. Enhance impervious cover requirements by removing floodplains and other undevelopable lands from calculations of development entitlements; and
3. Establish a dark skies ordinance to avoid harassment of migrating birds and other wildlife.

I greatly appreciate you asking and hearing my support of San Marcos continuing to hold our natural surroundings high on the priorities and values for our community. We want to be better than our neighboring cities. Protecting our environment is key.

Sincerely,

Kirsten Bjornson  
800 Valley View West Dr.  
San Marcos TX 78666

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## Hernandez, Amanda

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**From:** Katherine Brown <[REDACTED]>  
**Sent:** Tuesday, February 28, 2023 10:49 AM  
**To:** Planning Info  
**Subject:** [EXTERNAL] Public hearing comment 2/28/23 meeting

As a 3rd generation citizen of San Marcos, I would like to add **MY SUPPORT** on:

1. Removing the proposed “western loop” that would support high-intensity development of the Edwards Aquifer recharge and contributing zones
2. Enlarge creekside buffers to protect water quality and decrease erosion and flooding risks;
2. Enhance impervious cover requirements by removing floodplains and other undevelopable lands from calculations of development entitlements; and
3. Establish a dark skies ordinance to avoid harassment of migrating birds and other wildlife.

I greatly appreciate you asking and hearing my support of San Marcos continuing to hold our natural surroundings high on the priorities and values for our community. We want to be better than our neighboring cities. Protecting our environment is key.

Sincerely,

Katherine D Brown  
800 Valley View West Dr.  
San Marcos TX 78666

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## Hernandez, Amanda

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**From:** Kennedy Cunningham <[REDACTED]>  
**Sent:** Tuesday, February 28, 2023 8:02 AM  
**To:** Planning Info  
**Subject:** [EXTERNAL] Committee Hearing (2/28/23) Community Member Comment

Hello,

I am making a comment on the Vision SMTX Comprehensive plan, particularly the “Parks & Public Space + Health, Safety, & Wellness” section of the plan.

My name is Kennedy and I have been a resident of SMTX for 4 years and there is no place I would rather be. San Marcos has a fair amount of parks and natural spaces that I use daily. As a Recreational Therapist, I am a huge advocate of these spaces being easily accessible to all community members regardless of ability or disability. I like that the plan will incorporate policies and programs that increase access to parks and open space and recreation activities to enhance the community as well as achieve high levels of resident well-being, satisfaction, and quality of life. I am able to enjoy these spaces on a daily basis and having all community members being able to enjoy and have access to these spaces is something that I am passionate about and I like that the plan will ensure there is access for everyone in our community.

- Kennedy

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## Hernandez, Amanda

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**From:** Alana [REDACTED]  
**Sent:** Tuesday, April 11, 2023 10:18 AM  
**To:** Planning Info  
**Subject:** [EXTERNAL] Citizen comment for tonight's Planning and Zoning Meeting (Comprehensive Plan)

To the Planning and Zoning Commission:

I am writing to advocate for the approval of the Comprehensive Plan.

It's obvious to me that a lot of effort went into soliciting input for and then crafting this plan.

I believe the Comprehensive Plan does a good job of addressing issues that can't be solved at the neighborhood level alone.

I especially appreciate the 'Preferred Growth Scenario' chapter. I appreciate how this chapter shows ways that each of the 'place types' can adapt and change to address current needs of the city.

I am a life-long San Marcos resident. I have watched this town change over decades. The work of our talented city staff displayed in this Comprehensive Plan makes me excited to see the future of my beloved hometown. I am sorry that work prevents me from commenting live.

Again, I am writing **in favor of the adoption of the Comprehensive Plan.**

Thank you for your time and efforts towards improving our community.

Alana Rosenwasser  
818 Perkins Street

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## Hernandez, Amanda

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**From:** Villalobos, Andrea  
**Sent:** Tuesday, April 11, 2023 8:04 AM  
**To:** Planning Info  
**Subject:** Fw: [EXTERNAL] Support for Comprehensive Plan



**Andrea Villalobos, AICP, CNU-A**

Planning Manager | Planning & Development Services  
630 E Hopkins, San Marcos, TX 78666  
512.805.2623

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**From:** Ida Miller [REDACTED]  
**Sent:** Tuesday, April 11, 2023 7:35 AM  
**To:** Agnew, William <WAgnew@sanmarcostx.gov>; Kelsey, Travis <TKelsey@sanmarcostx.gov>; Spell, Griffin <GSpell@sanmarcostx.gov>; Costilla, Lupe <LCostilla@sanmarcostx.gov>; Garber, Jim <JGarber@sanmarcostx.gov>; Meeks, Amy <AMeeks@sanmarcostx.gov>; Case, David <DCase@sanmarcostx.gov>; Hughson, Jane <JHughson@sanmarcostx.gov>; Villalobos, Andrea <AVillalobos@sanmarcostx.gov>  
**Subject:** [EXTERNAL] Support for Comprehensive Plan

Hello,

I support the comprehensive plan. The devil in growth planning is how you accomodate new people and please the existing. Bill Agnew wrote a letter to the editor in Sundays' paper clearing exhibiting the tension. A Hopkins St that encourages residential living inconveniences others in the neighborhood. Urban planning, like relationships, are a constant negotiation and compromise.

I feel density in close-in neighborhoods can provide the opportunity for alternative transportation--bikes and bus routes that can stay on schedule because the route is shorter and more predictable. A second city center will allow residents in South San Marcos an alternative destination other than Hopkins. With decreased car traffic through Hopkins St maybe Bill won't have so much noise to break his tranquility.

I feel that the city needs to continue to investigate funding to retain families in their homes and respect the heritage of existing neighborhoods. I have utmost confidence that our city staff can and will do this.

I feel the neighborhood plans allow neighbors to work out the details for their neighborhoods. So Bill and I can work out what the historic district will look like in the next 20 years and leave the rest of you to nail your compromises.

I hope you will support the plan and allow the city staff and community members to continue to work toward the future San Marcos and hash out the details at the neighborhood level.

I have enjoyed working on this committee. Thanks, Ida Miller

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voteriders can help you get registered AND get proper ID to vote. [voteriders.org](https://voteriders.org).

Ida Miller [REDACTED]

## Hernandez, Amanda

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**From:** Ogletree, Shirley M [REDACTED]  
**Sent:** Monday, April 10, 2023 8:59 PM  
**To:** Planning Info  
**Cc:** Ogletree, Shirley M  
**Subject:** [EXTERNAL] Comprehensive Plan Action

Dear Planning and Zoning Committee Members:

Thank you for your willingness to be a part of this important, but very time-consuming process. Your dedication to our city is admirable.

I'm a long-term resident of San Marcos. The first home I owned (and still own as a single-family rental) was at 1203 W. San Antonio St. I currently live at 812 Hillyer Street, near Crockett Elementary School. Both of my children have gone through all 12 grades in San Marcos CISD and graduated from Texas State University. As you can see, I am heavily invested in our community.

Some of the values that are most important to me, guiding my statements, are concern for our environmental and making the city a fine place to live for all, including rich, poor, young and old. For these reasons I *strongly support density downtown and providing affordable living options in all areas of the city*. Building apartments and condos close to downtown and the university help meet these goals. For example, the old Lamar School on Hutchinson Street would be a fine setting for condos, enabling mixed options for elderly individuals as well as young adults to live within walking distance to restaurants, shopping, and university events, without the need to own cars.

Promoting the use of bikes and walking also help make neighborhoods more livable and vibrant. I applaud the city's recent efforts to add sidewalks and bike lanes and hope for even more in the new plan.

Finally, protecting our river and facilitating more green space helps keep San Marcos the jewel that it is. Having such resources, like parks and river access, for communities east of the river is part of making our city equitable and enjoyable for all.

Thank you for taking the time to read these remarks.

Sincerely,

Shirley Ogletree

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